

## Inspections & Compliance Challenges NBCO Inspection Programme



An Oifig Náisiúnta um Rialú Foirgníochta  
NATIONAL BUILDING CONTROL OFFICE

### CPD Day Building Control Inspections 19<sup>th</sup> September 2023

- Education & Training
- Compliance Support
- **Inspections**
- BCMS

[support@nbco.gov.ie](mailto:support@nbco.gov.ie)



Website: [www.localgov.ie](http://www.localgov.ie)

Twitter: [@NBCOIreland](https://twitter.com/NBCOIreland)

YouTube: [NBCO DCC](https://www.youtube.com/NBCO DCC)

## Inspections



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1. Promotion of health, safety and welfare of **people** in or about buildings, the conservation of energy and access for **people** with disabilities. i.e., the health and safety of people and the protection of the environment. 90% of our lives indoors
2. Promotion of Regulatory Compliance –enabler of economic development –confidence-**people**
3. Good Quality Built Environment-fit for purpose-for **people**
4. Consumer Protection –**people** -Cannot deal with people and their houses separately



# Administration of Building Control FAQ 3. WHAT IS THE BUILDING CONTROL LEGISLATION FRAMEWORK? <https://www.gov.ie/en/publication/3e711-building-control/>

- EU (Construction Products) (S.I. No. 225/2013 & S.I. No. 217/2023(Amd) ) & S.I. No. 682/2020
- (EU) 2019/1020 Market Surveillance Regulations (MSR)
- (EU) No. 305/2011 construction Products Regulations (CPR)
- Guidelines for Market Surveillance Authorities-V1 0- June 2016
- EU (Energy Performance of Buildings) (S.I. No. 243/2012)

**BUILDING CONTROL ACTS 1990/2007/2020 & Establishment of Building Control Authorities**

- Making of Building Regulations
- Dispensations / Relaxations
- Making of Building Control Regulations
- Appeals
- Enforcement Notices
- Powers of Inspections by Authorised Persons
- Materials Prohibition, Documents, Offences, Penalties,
- Professional Registration

Local Government Reform Act 2014

Framework for Building Control Authorities 2016  
Roles & Duties

Administrative Requirements of Buildings

**BUILDING REGULATIONS**  
12 Parts A-M  
Applications –Dispensation from /Relaxation

Technical Guidance Documents  
Parts A-M

Design Requirements of Buildings

**BUILDING CONTROL REGULATIONS**

- Exemptions
- Notices-Commencement / 7 Day Notices
- Applications-Fire Safety/Disability Access Certificates
- Certificates of Compliance before Construction & on Completion
- Statutory Register, Fees, Appeals

Code of Practice for Inspecting and Certifying Works 2016

← 31 BUILDING CONTROL AUTHORITIES INSPECTING FOR COMPLIANCE WITH REGULATIONS →

Building Control ACT 1990-2014  
Section 11 Powers of inspection  
by authorised persons??



## Section 11 – Inspections

*“authorised person”*.

entitled to enter at all reasonable times,

authority in writing and

inspect any building, and any plans or documents

(i) following its completion,

(ii) during its construction, alteration or extension, or

(iii) during the installation fittings, services or equipment

(iv) material change

entitled to be assisted

# 11(3) – Powers of Inspection

(b) require to be informed by the owner or occupier ...  
the purpose of the building

(c) require owner, occupier or ... to provide plans,  
documents & information necessary to establish if  
Building Regulations (BR) are being complied with

(d) be permitted to take samples of materials necessary  
to establish whether the BR are being complied with

# 11(5) - Offences

Any person who

(a) refuses to allow an authorised person to enter or

(b) obstructs or impedes,  
or

(c) wilfully or recklessly gives information which is false or misleading in a material respect,  
or

(d) fails to comply with any requirement of this section, shall be guilty of an offence.



## 11(6) & (7) – Power of Entry

(6) Where prevented from exercising power of entry the BCA may apply to the **District Court for a warrant** authorising such entry.

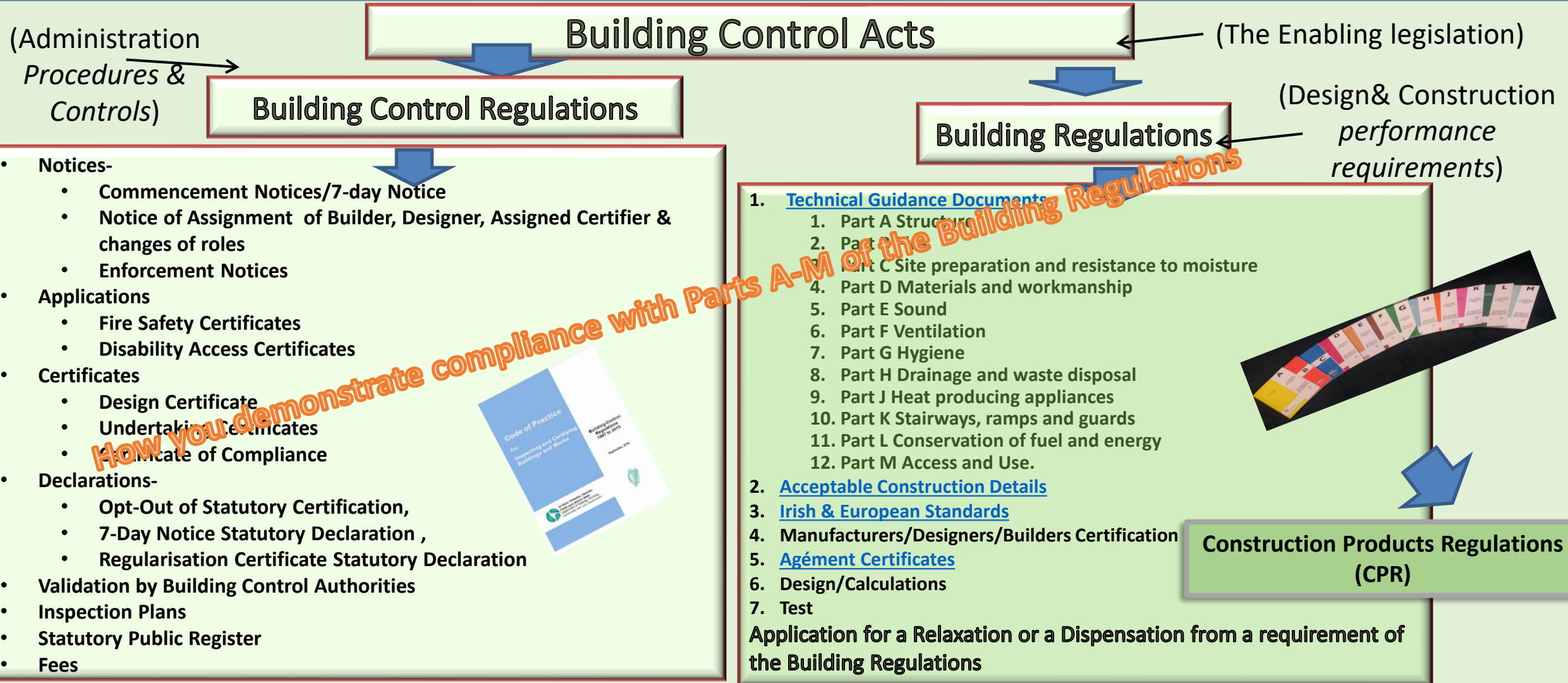
(7) **Nothing in this section shall empower** ... to enter into, or to inspect plans or docs relating to land or building which is

(a) a prison or place of detention, or

(b) in the occupation of the Garda Síochána or the Defence Forces.



## Building Control



## Responsibility For Compliance Rests fully with the Owner Builder Designer of the Building or Works

"Design Certifier" means the person who signs the Certificate of Compliance (Design);

Builder" means a competent builder appointed, for purposes of the Building Control Regulations, by the building owner, to build and supervise the works;

"Assigned Certifier" means the competent, registered professional person so assigned, in accordance with the Building Control Regulations;

"Building Owner" means the person who has commissioned or paid for the works and who has legal entitlement to have such works carried out on their behalf;

"Competent Person": a person is deemed to be a competent person where, having regard to the task he or she is required to perform and taking account of the size and/or complexity of the building or works, the person possesses sufficient training, experience and knowledge appropriate to the nature of the work to be undertaken;

Ancillary Certificates" means a certificate other than a statutory certificate of compliance as prescribed in the Building Control Regulations given by a competent person to confirm compliance of elements of the building, design or works with Building Regulations; and "Ancillary Certifier" means a person proposed to issue such a statement. (Note: a "person" also includes a company);

Code of Practice  
for  
Inspecting and Certifying  
Buildings and Works

Building Control  
Regulations  
1997 to 2015

September, 2016

An Roinn Tithíochta, Pleanála,  
Pobail agus Rialtais Áitiúil  
Department of Housing, Planning,  
Community and Local Government



# Compliance ! Building Regulations 1997-2022



**Must Demonstrate Compliance**



## ➤ COP & Framework –

### One system for all projects to follow-

#### NBCMP

National Building Control Management Project

### Compliance Support - FAQ 11. Where can I find the Key Roles, Duties, and Standard Procedures in relation to Building Control?

1. **CODE OF PRACTICE FOR INSPECTING & CERTIFYING BUILDINGS & WORKS**
  - a. **OWNERS, BUILDERS, DESIGNERS RESPONSIBLE FOR COMPLIANCE**
  - b. **ASSIGNED CERTIFIERS- LIAISE WITH THE BCA, INSPECTION PLANS & DOCUMENT COLLATION FOR CERTIFICATE OF COMPLIANCE ON COMPLETION**
2. **FRAMEWORK FOR BUILDING CONTROL AUTHORITIES**
  - a. **BUILDING CONTROL AUTHORITY ADMINISTER THE PROCESS AND MAY TAKE ENFORCEMENT**

**Purpose**  
Provide guidance inspecting and certifying  
Following the COP shall, prima facie, indicate compliance with the relevant requirements of the Building Control Regulations.



**Purpose**  
Provide guidance for Building Control (BCAs) Authorities  
Outlines Roles & Duties  
Standardise role of the BCAs  
Templates for use by the BCAs i.e. Delegations, Warning Letters & Enforcement Notices

# Compliance ! Building Regulations 1997



Technical Guidance Document L

**Limiting Thermal Bridging and Air Infiltration**

Acceptable Construction Details  
2021 Edition

**Code of Practice  
for Inspecting  
and Certifying  
Buildings and  
Works September  
2016**

Building Regulations  
&  
TGD's Statutory  
=  
Prima Facie  
compliance

**Codes of practice;  
Standard Recommendations  
(S.R 325, S.R 16, 17, 18, & 21,);  
Acceptable Construction Details  
(ACDs) e.g., Part L etc  
Irish Standard (I.S.) or  
Irish Agrément Certificate (IAB)  
or alternative national technical  
specification (equivalent level of  
Safety & Suitability);  
Performance in Use .**

Part D Fit for Purpose

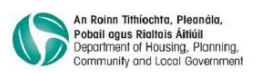
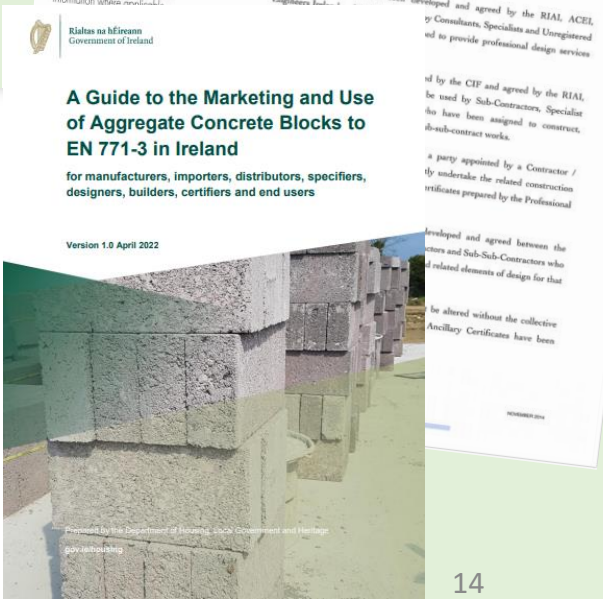
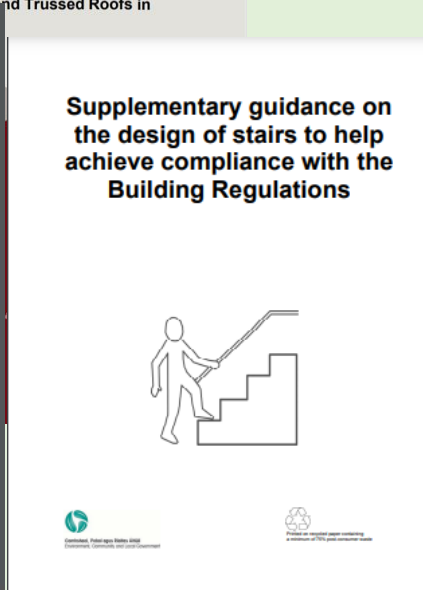
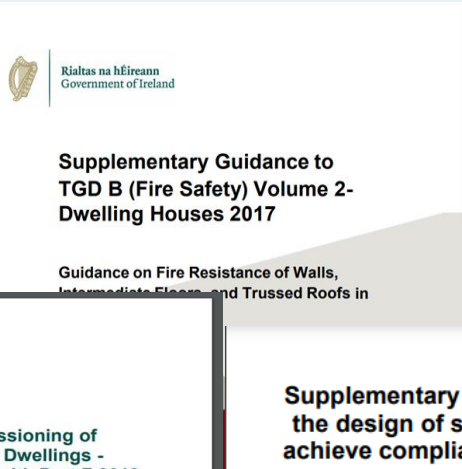
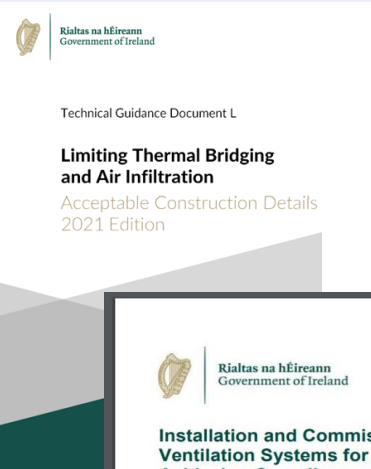


Declaration  
of Performance

**Essential Characteristics**

## Recommended Guidance for Compliance

**“Competent Person”:** a person is deemed to be a competent person where, having regard to the task he or she is required to perform and taking account of the size and/or complexity of the building or works, the person possesses sufficient training, experience and knowledge appropriate to the nature of the work to be undertaken;



## Ancillary Certificates -Reference Documents

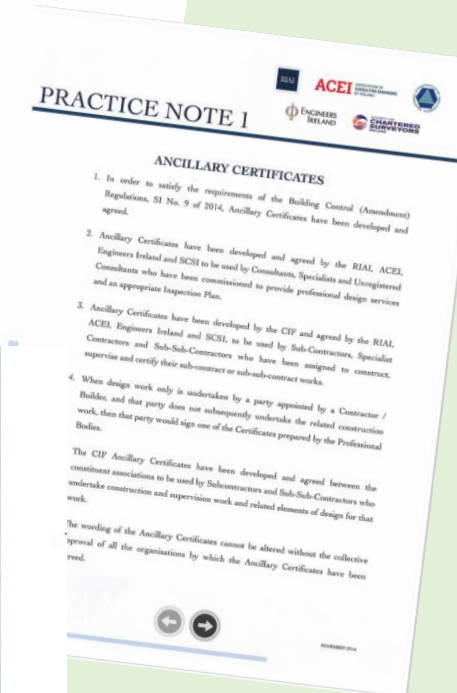
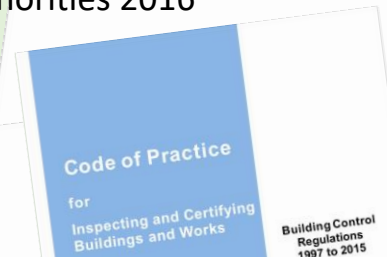
1. S.I. 9 of 2014 Building Control (Amendment) Regulations 2014
2. Code of Practice for Inspecting and Certifying Buildings and Works 2016
3. Practice Notes 1 & 2 and Ancillary Certificates 2017
4. Framework for Building Control Authorities 2016



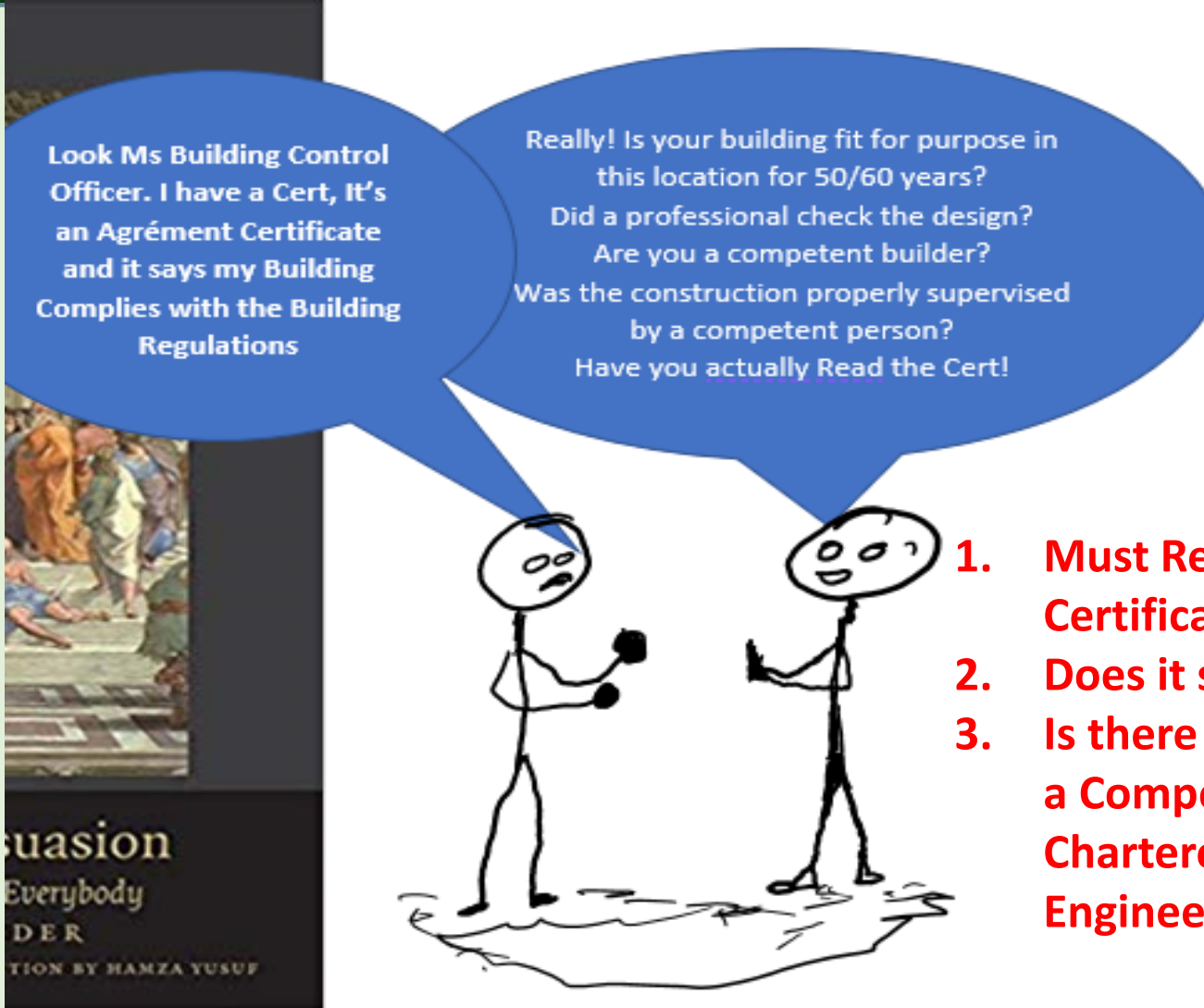
### PRACTICE NOTE 2

#### PURPOSE OF PRACTICE NOTE

1. A suite of the Ancillary Certificates for use with the BC(A)R regime of Building Control has been agreed between the Professional Bodies and the Construction Industry Federation (CIF) representing the principal stakeholders in the building sector.
2. These Ancillary Certificates were introduced in Practice Note 1.
3. The primary purpose of this Practice Note 2 is to provide further guidance on the application of these Ancillary Certificates in respect of elements designed and/or constructed by Sub-contractors.
4. This guidance takes the form of a series of examples of elements of building works commonly Sub-contracted, for which the appropriate Ancillary Certificates are identified in each case.
5. Ancillary Certificates are proposed in respect of a sample of elements which require contractor / sub-contractor certification under the Building Control Regulations. Many projects will incorporate a vast range of such elements which it will not be possible to comprehensively identify prior to the commencement of the works on site.
6. Additionally, this Practice Note also considers an example in relation to specialist manufacturer systems complying with the Building Regulations.



# Agrément Certificates (Fit for Purpose!) What does having an Agrément Certificate Mean?



1. Must Read the Agrément Certificate
2. Does it state Ireland?
3. Is there a requirement for a Competent Installer i.e., Chartered Structural Engineer?

BUY STANDARDS ONLINE | CONTACT

NSAI Standards Certification Legal Metrology National Metrology Laboratory Brexit About NSAI

## Certification in Modern Methods of Construction

BUY STANDARDS ONLINE | CONTACT

NSAI Standards Certification Legal Metrology National Metrology Laboratory Brexit About NSAI

### Agrément Certification

CERTIFICATION > AGRÉMENT CERTIFICATION

The National Standards Authority sign-off on Modern Methods of Construction under Building Regulations

CERTIFICATION > AGRÉMENT CERTIFICATION

#### What is Agrément?

NSAI Agrément is responsible for Agrément assessment and certification. Formerly the Irish Agrément Board (IAB), it now operates as part of NSAI (National Standards Authority of Ireland). NSAI Agrément issues technical certification for new and innovative products and processes in building and materials technology.

Agrément certification is designed specifically for new building materials, products and processes that do not yet have a long history of use and for which published national standards do not yet exist. NSAI Agrément assesses, specifies testing, and end where appropriate, issues Agrément certificates for such products.

#### What is the Procedure for Certifying a New Product?

Agrément certification involves the following steps:

- We process your application.
- We develop a Technical Assessment Specification (TAS), which sets out the technical criteria for assessment and testing.
- We assess the product to ensure that it conforms to the TAS. This might include laboratory testing, on-site evaluation and inspection of the production process.
- Subject to the results of the assessment, we then draft an NSAI Agrément Certificate.
- We publish the Certificate on the NSAI website.

#### How is the Assessment Carried Out?

The criteria upon which Agrément certification is based vary from product to product, taking into account construction standards across a range of measures such as:

- Safety
- Habitability
- Durability
- Maintenance
- Practicability
- The legal framework

The Agrément Certificates we publish are in accordance with the Irish Building Regulations and the rules of the European Union of Agrément Institutes for Construction (UEAtd).

SHARE: f t in

#### IN THIS SECTION

- Search for an Agrément Certificate
- Agrément Registered Installers
- Certified Air Tightness Tester Scheme
- Thermal Modellers Scheme
- WEP (Window Energy Performance) Scheme
- Ventilation Validation Registration Scheme
- Certification in Modern Methods of Construction



# Modular Homes (largely built off site in modules MMC)- Fit for Purpose (Compliance with Parts A-M of the Building Regulations)

Panacea for Solving the Housing Crisis!!!!

**Big issues:**

**-Gap between:**

**Off-Site Manufacturing- (OSM) and  
On-Site Construction (OSC)**

**Proper Site Management-low tolerance allowances!**

- 1. How is Building Regulatory compliance demonstrated?**
- 2. Are Modular Homes designed to be "Fit for Purpose"?**
- 3. Are Modular Homes constructed to be "Fit for Purpose"?**
- 4. Is the Commencement Notice with Declaration of Intention to Opt Out of Statutory Certification "fit for purpose" here? –Part D Building Regulations**
- 5. BCAs demand compliance certification ([439](#)) CPD Day, ["Modern Methods of Construction"](#) – YouTube**



*How you demonstrate compliance with Parts A-M of the Building Regulations*

## Part L Building Regulations, Challenges

S.I. No. 243/2012 - European Union (Energy Performance of Buildings) Regulations 2012.

**BER Report Part L Compliance report is a published report using DEAP Software is a 6 Page report.**

The BER number is published on this page 1 of the 6 page report. *(BER Number is watermarked on each page of the Part L Report)*

### What to check for Compliance

- Address is correct
- EPC (Passed)
- CPC (Passed)
- Fabric (Minimum Backstops Passed)
- Windows (Minimum Backstop Passed)
- Doors (Minimum backstop Passed)

| efficiency [%]                                 |     | secondary heating system     |     | system fuel            |     |
|--|-----|------------------------------|-----|------------------------|-----|
| Fraction of main space and water heat from CHP | N/A | Electrical efficiency of CHP | N/A | Heat efficiency of CHP | N/A |
| CHP Fuel type                                  | N/A |                              |     |                        |     |

Summary for Part L Conformance (Applies to TGD L 2008/2011/2019 for new dwellings only)

|   |           |                                     |            |
|---|-----------|-------------------------------------|------------|
| BER Number  | 113674105 | Building Regulations                | 2011 TGD L |
| BER Result  | B1        | Energy Value kWh/m <sup>2</sup> /yr | 82.85      |
| CO <sub>2</sub> emissions [kg/m <sup>2</sup> /yr] | 19.59     |                                     |            |
| EPC   | 0.506     | EPC Pass/Fail                       | Fail       |
| CPC   | 0.580     | CPC Pass/Fail                       | Fail       |

Page 5 of Part L Report Details the Part L Conformance

(Check for Part L Compliance)

|  |      |      |       |      |      |
|--|------|------|-------|------|------|
| Part L Conformance - Fabric                      |      |      |       |      |      |
| Conformity with Maximum avg U-value requirements |      |      |       |      |      |
| Pitched roof insulated on                        | 0.13 | Pass | Roofs | 0.24 | Pass |

### Part L Conformance - Fabric

| Conformity with Maximum avg U-value requirements | U-value [W/m <sup>2</sup> K] | Pass/Fail | Conformity with Maximum U-value requirements   | U-Value [W/m <sup>2</sup> K] | Pass/Fail |
|--|------------------------------|-----------|--|------------------------------|-----------|
| Pitched roof insulated on ceiling                | 0.13                         | Pass      | Roofs  | 0.24                         | Pass      |
| Pitched roof insulated on slope                  | 0.24                         | Fail      | Walls  | 0.18                         | Pass      |
| Flat Roof  | 0                            | Pass      | Floors   | 0.31                         | Pass      |
| Floors with no underfloor heat                   | 0.14                         | Pass      | External doors / windows / rooflights  | 2.50                         | Pass      |
| Floors with underfloor heat                      | 0.00                         | Pass      | Meets Part L maximum avg U-value requirement for opaque elements using TGD L Section 1.3.2.3 |                              | Pass      |
| Walls  | 0.18                         | Pass      |  |                              |           |
| Percentage of opening areas [%]                  | 25.59                        |           |  |                              |           |
| Average U value of                               | 1.47                         | Pass      |  |                              |           |

## Part A Building Regulation Challenges Metal Web Joists

NBCMP  
National Building Control Management Project

### Metal Web Joist Part A, B and D Compliance

The Building Regulations That apply for Dwelling Houses

- Part A Structures
- Part B Fire Safety Vol. 2 Dwelling Houses
- Part D Material & Workmanship.



NBCMP  
National Building Control Management Project

### Metal Web Joist Part A, B and D Compliance

Additional Guidance Documents That apply for Dwelling Houses

- Supplementary Guidance to TGD B (Fire Safety) Volume 2- Dwelling Houses 2017

Manufactures Details & Manuals Note 3 Different Manufactures

- Mitek
- Easi-Joist
- Space Joist



What is the Parts of Metal Web Joists

- Top Chord
- Bottom Chord
- Metal Webs
- Strongback
- Strut

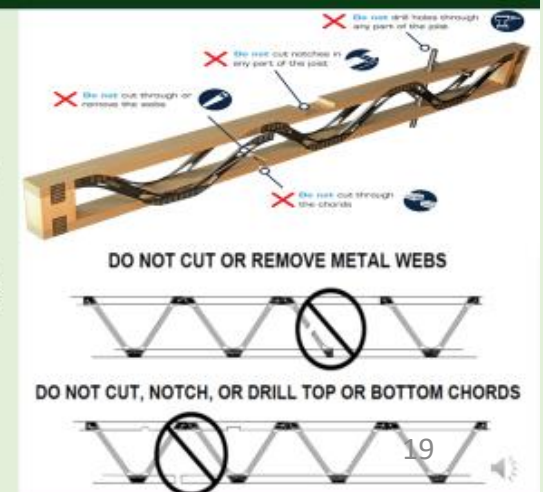


### TGD A – Structures (2012) – Section 1


1.1.2.5 Notches and holes in simply supported floor and roof joists should be within the following limits:

- notches should be no deeper than 0.125 times the depth of a joist and should not be cut closer to the support than 0.07 times the span, nor further away than 0.25 times the span,
- holes should be no greater diameter than 0.25 times the depth of the joist, should be drilled at the neutral axis, should be not less than three diameters (centre to centre) apart and should be located between 0.25 and 0.4 times the span from the support, and
- the horizontal distance between any hole and any notch should not be less than the depth of the joist

(Note: Metal Web Joists don't allow for notches or holes.– Always refer to manufactures guidance)



## I.S. EN 13242:2002 + A1:2007 & S.R. 21:2014 + A1:2016



National Standards Authority of Ireland  
Údarás um Chaighdeán Náisiúnta na hÉireann

IRISH STANDARD

I.S. EN 13242:2002+A1:2007

ICS 91.100.15

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Price Code M

Údarás um Chaighdeán Náisiúnta na hÉireann



Standard Recommendation  
S.R. 21:2014+A1:2016

Guidance on the use of I.S. EN 13242:2002 +A1:2007 – Aggregates for unbound and hydraulically bound materials for use in civil engineering work and road construction

I.S. EN 13242:2002 + A1:2007 is a Harmonised standards for Aggregates for Unbound and Hydraulically Bound Materials for use in Civil Engineering work and road construction.

S.R. 21:2014 + A1:2016 is a standard recommendation for the use of I.S. EN 13242:2002 + A1:2007 in Ireland.

1. CE Marking
2. Declaration of Performance (DoP) (always check the essential characteristics!)
3. Safety información in use

## Building Control Regulations S.I. 9 of 2014

&

## S.I. 365 of 2015

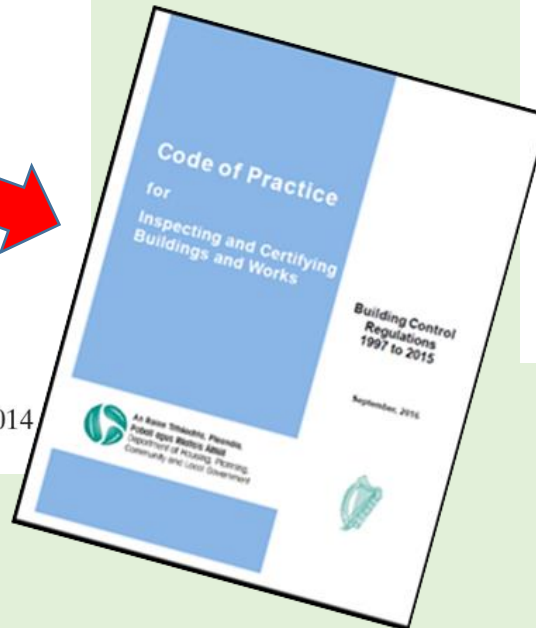


STATUTORY INSTRUMENTS.

S.I. No. 9 of 2014

BUILDING CONTROL (AMENDMENT) REGULATIONS 2014

BCAR  
Statutory  
Certification  
&  
Inspections.



STATUTORY INSTRUMENTS.

S.I. No. 365 of 2015

BUILDING CONTROL (AMENDMENT) (REGULATIONS 2015)

**Owner-new single dwelling, on a single unit development, or a domestic extension,**

Declaration  
of Intention  
to Opt Out  
of Statutory  
Certification

[Information Note for Owners of new dwellings and extensions who opt out of Statutory Certification for building control purposes](#)

## Building Regulations Article 9- DESIGN AND CONSTRUCTION of WORKS AND BUILDINGS.



### Alternative Means of Compliance

- Codes of practice
- Standard Recommendations
- ACDs etc
- Irish Standard (I.S.) or
- Irish Agrément Certificate (IAB) or
- alternative national technical specification (equivalent level of safety & suitability).
- Design etc,



Functional requirements state the aim or purpose of the provision, without detailing how it has to be done. The focus is on “ends” allowing the designer to determine best “means”.

**Building Regulations Article 9** (1) Every **WORKS OR BUILDING** to which these Regulations apply shall be **DESIGNED AND CONSTRUCTED**—

(a) in accordance with the appropriate requirements set out in the Second Schedule,

and

(b) in such a manner as to avoid the breaching of any other requirement of that Schedule.

(2) No works shall be carried out to a building which would cause a new or greater contravention in the building of any provision of these Regulations.

### **Building Control Act; Section 3(5)**

(5) Subject to subsection (11) and to—

(a) any dispensation or relaxation granted under section 4 or 5, or  
(b) any appeal under section 7 which has been allowed,

**EVERY BUILDING TO WHICH BUILDING REGULATIONS APPLY** shall be designed & constructed in accordance with the provisions of .. regulations.

**Building Control Act Section 16.Offences** —Any person who contravenes (by act or omission) any requirement of this Act or of any order, regulation or notice under this Act shall be guilty of an offence.

# Article 9-Building Control Regulations –Commencement Notice

*(b) subject to paragraph (2), **accompanied by—***  
*(i) **such plans, calculations, specifications and particulars as are necessary to outline how the proposed works or building will comply with the requirements of the Second Schedule to the Building Regulations relevant to the works or building concerned, and including—***

*(I) general arrangement drawings including plans, sections, and elevations,*

*(II) a schedule of such plans, calculations, specifications, and particulars as are currently designed or as are to be prepared at a later date.*

*(III) the completion of an online assessment, via the Building Control Management System, of the proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations.*

*(IV) the preliminary Inspection Plan prepared by the Assigned Certifier, and*



## The completion of an online assessment, via the Building Control Management System

*(III) the completion of an online assessment, via the Building Control Management System, of the proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations,*

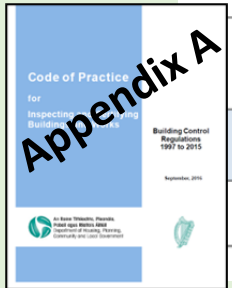
Building Regulations 12 Parts  
8 Functional Requirements  
9 Applications/Definitions

Building Control Regulations

Code of Practice

**Appendix A: Requirements of the Second Schedule to the Building Regulations**

| Ref.                      | Description     | Apply | Does not apply | Partially applies | Comment |
|---------------------------|-----------------|-------|----------------|-------------------|---------|
| <b>Part A - Structure</b> |                 |       |                |                   |         |
| A1                        | Loading         |       |                |                   |         |
| A2                        | Ground movement |       |                |                   |         |



**• What are the Relevant Requirements of the Building Regulations that apply to this WORKS OR A BUILDING**



Part A (Structure)

Consequence Class: - None -

Is a specialist engineered foundation required?: - Select -

Do the... - Select -

Part C (Site Preparation and Resistance to Moisture)

Is the site located in an area of high radon?: - Select -

Part E (Sound)

Have you ensured that the design includes the use of proper materials which are fit for purpose and intended location and that these will be constructed in a workmanlike manner? - Select -

Has provision been made to providing reasonable resistance to impact and airborne sound, where required? - Select -

Type of heat producing appliance(s) provided (if any)?:

- Solid fuel burning appliance (including solid biofuel) with a rated output up to 50 kW
- Fixed gas burning appliance with a rated output up to 70 kW
- Building cooling appliance with a rated output up to 45 kW
- Other heat producing appliance

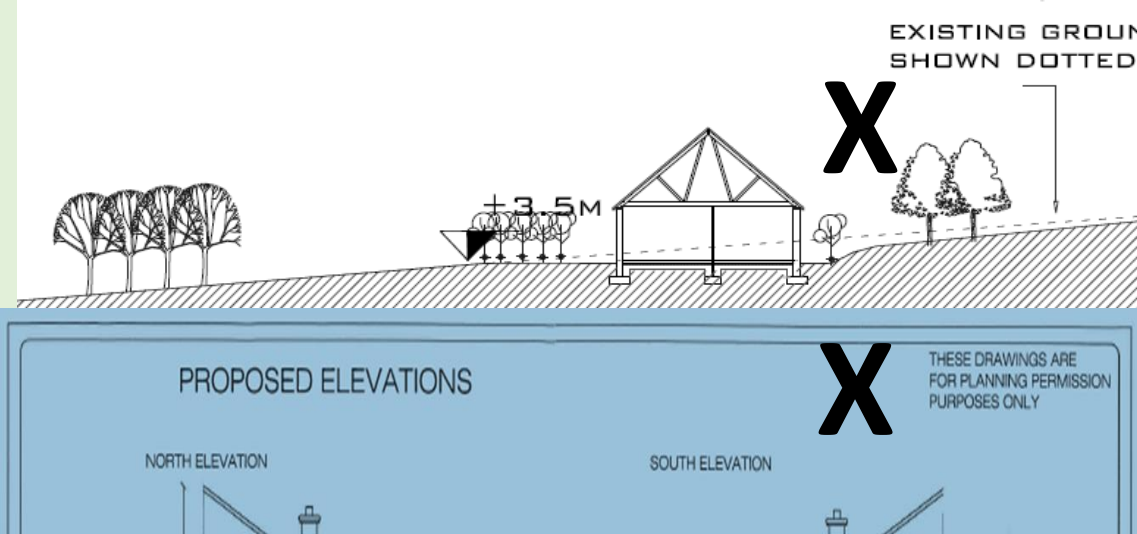
Location of primary fuel storage, if any: - Select -



[Building Control Regulations Code of Practice September, 2016 p25 Appendix A: Requirements of the Second Schedule to the Building Regulations](#)



## (I) general arrangement drawings including plans, sections, and elevations,



Site Location Map 1:10560

Site Location Map 1:2500

Site Layout Plan

Elevation Drawings

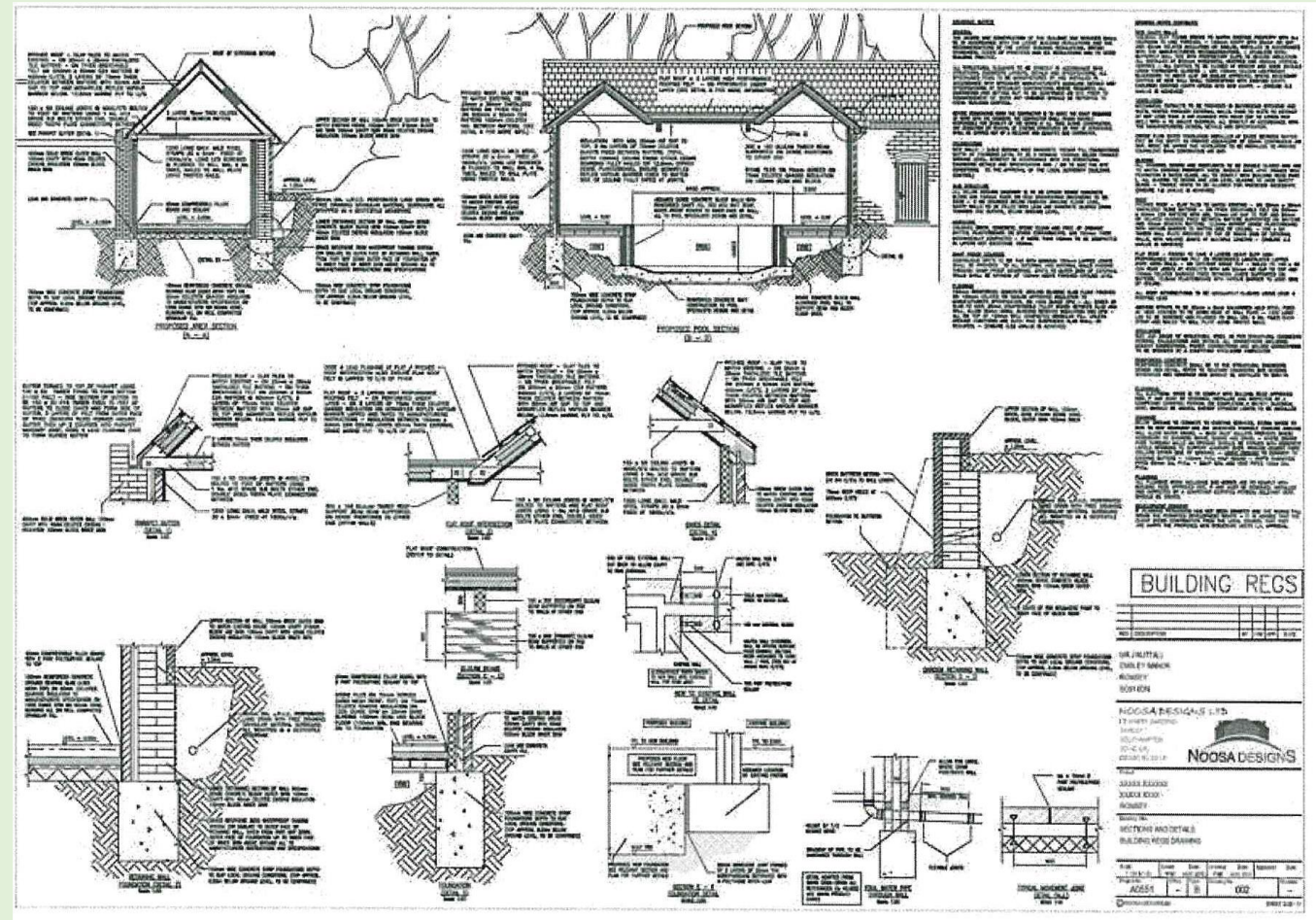
Plans & Sections (typical) –refer to ACDs

Foundation Design

Compliance Report based Building Regulations

Draft Part L Compliance Report & BER

Preliminary Inspection Plan



# Are the specifications & standards up to date-copy/paste

# NBCO Training Building National Building

(II) a schedule of such plans, calculations, specifications, and particulars as are currently designed or as are to be prepared at a later date, (CN Q6 completion)

**Question:** What Compliance Documentation must accompany a Commencement Notice to Demonstrate Compliance with the relevant requirements of the Building Regulations?

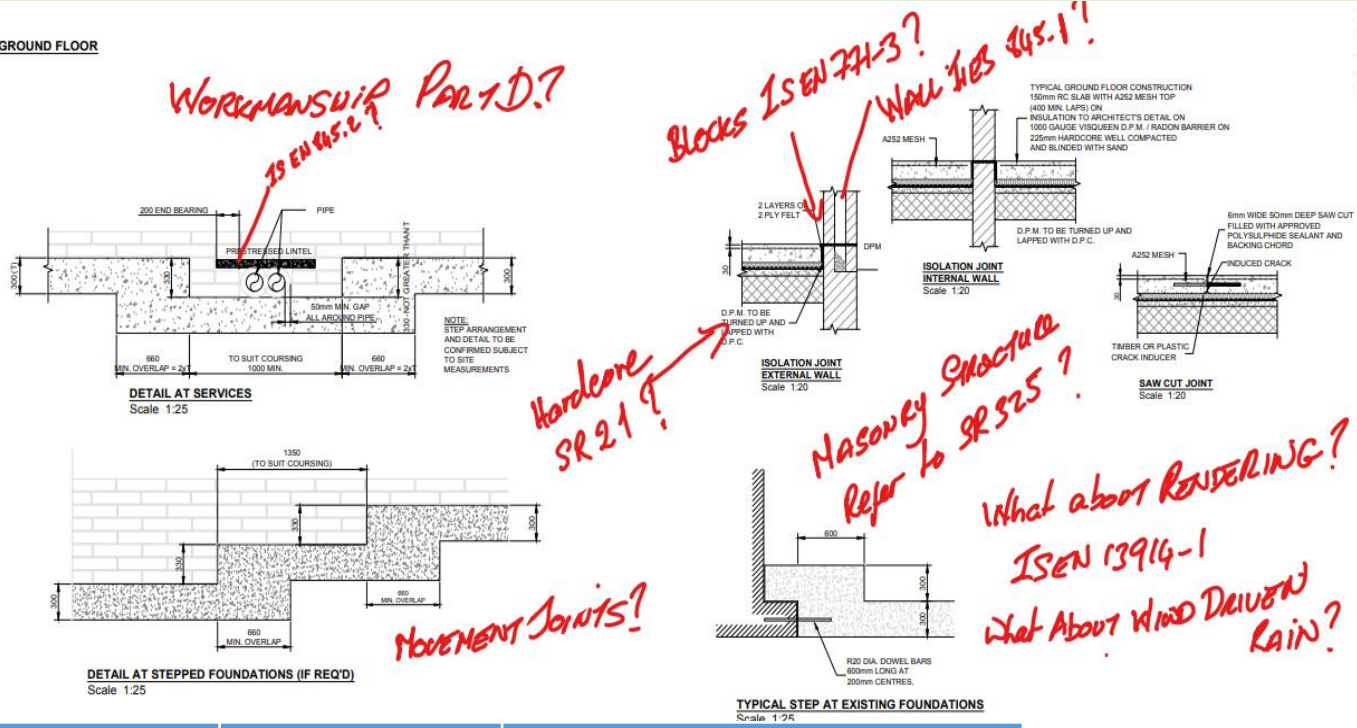
- Response:**
- Design/Construction Drawings showing how the building complies with the Building Regulations parts A to M
  - Drawings must show Key construction details - junction of foundations, Floor/walls, window head, door head and Junction walls/roof
  - Fire doors and protected corridor must be shown on drawings for 3 storey houses (including converted attics) or equivalent
  - Preliminary Part L report for the building
  - Ventilation strategy – natural or mechanical with calculations for the building
  - Where it is intended to use a Modern Method of Construction, valid Agreement Certificates must be submitted.
- General Arrangement Drawings/Outline Specification:**

- Pitched roof:**
- Truss roof design:
    - Performance specification outlined with DoP's and certificates required scheduled.
    - Ancillary Certification to be scheduled from the truss designer/manufacture / supplier.
    - Part A +D compliance.
  - Cut roof:
    - Design calculations and drawings to be provided by a Consulting Engineer.
    - Performance specification outlined with DoP'S and certificates required scheduled.
    - Ancillary Certification from the Consulting Engineer to be scheduled.
    - Part A +D compliance.
  - U-value: Elemental U-value identified. (Part L compliance)
  - Ventilation:
    - Ventilation strategy identified.
    - Supporting calculations to be provided.
    - Performance specification outlined with DoP's and certificates required scheduled.
    - Ancillary Certification scheduled from designer.
    - Part F compliance.

- Roof finish:**
- Materials to be identified including the fixing/ support of.
  - Performance speciation outlined with DoP's and certificates required scheduled.
  - Ancillary Certification scheduled.
  - Part C+D compliance.
- Windows / doors:**
- Performance specification outlined with DoP's and certificates required scheduled.
  - U-value: Elemental U-value identified. (Part L compliance).
  - Critical glazing locations identified.
  - Escape windows identified with suitable dimensions.
  - Purge ventilation requirements identified.
  - Fixing and supporting of detailed.
  - Ancillary Certification scheduled.
  - Part B, C,D,F+L compliance.

- External Wall:**
- Make up wall identified including wall ties, insulation, exterior and interior finish.
  - Structural elements identified with supporting design calculations and specifications from the consultant Engineer.
  - Performance specification outlined for all materials with specific DoP's and certificates required scheduled.
  - Thermal block locations identified.
  - Specific thermal bridge details provided.
  - DPC's and flashings identified.
  - Cavity closers / cavity barriers/ firestopping locations identified including performance speciation, DoP's and certification requirements.
  - Location of vents identified which satisfy structural and sound restrictions.
  - Elemental U-value identified.
  - Sound test scheduled.
  - Ancillary Certification scheduled.

RE OVER GROUND FLOOR



| Document | Reference | Description/Remarks   |
|----------|-----------|---|
|          |           | Homeowners demand full payout in Ireland's crumbling homes scandal                    |
|          |           | ... could be left homeless in rural Ireland because of building defect                |
|          |           | e.g., designed/to be designed later (also refer to <a href="#">Code of Practice</a> ) |



<https://www.theguardian.com/world/2021/oct/07/homeowners-demand-full-payout-in-irelands-crumbling-homes-scandal>

## Building Control (Regulations) Management System (BCMS) –data/information Use

Risk Assessment –Online Assessment-completion, via the BCMS, of the proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations,

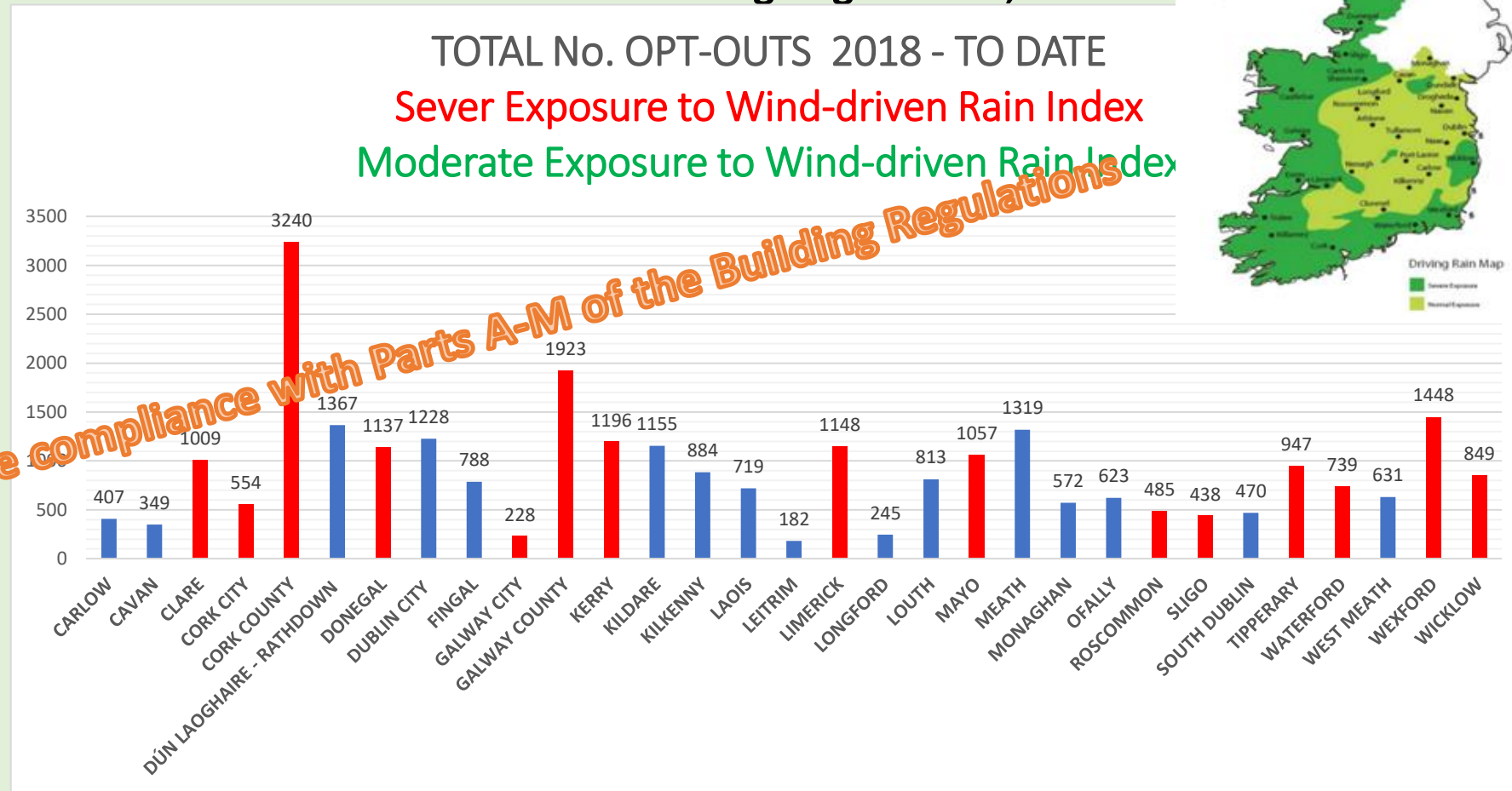


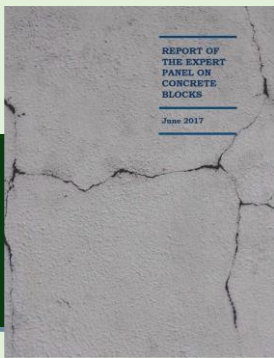
Using Information to inform Compliance & where to target Inspection Resources- **Risk**

Commencement Notices With Declaration to Opt-Out of Statutory Certification

**Owner Declares** –"understand my statutory obligation as owner to ensure that the dwelling or extension is designed and constructed in accordance with the relevant requirements the Building Regulations

**Part C Building Regulations**





## (I) general arrangement drawings including plans, sections, and elevations,

- a. [S.R. 16](#) National guidance, use of I.S. EN 12620:2002+A1:2008 aggregates for use in concrete (includes [EN 206-1 ready-mix](#)), concrete used in roads and other pavements, **precast concrete products, concrete blocks-I.S. EN 771-3** etc,.
- b. [S.R. 17](#), National guidance, use of I.S. EN 13043:2002 in Ireland aggregates for use in bituminous mixtures and surface treatments for **roads**, airfields, and other **trafficked areas**.
- c. [S.R. 21](#), 2014+A1:2016, National guidance, use of I.S. EN 13242:2002+A1:2007 in Ireland i.e., (this includes, aggregates for unbound and hydraulically bound materials for use in civil engineering work and road construction, i.e., aggregates for use in pipe bedding, haunching, backfilling of filter drains, general fill material, unbound sub-bases for road pavements, unbound granular material (**hardcore**) for use under concrete roads and footpaths & **underfloor fill**).
- d. [S.R. 18](#), provides guidance on the use of I.S. EN 13139:2002 in Ireland (i.e., Natural aggregates used to make masonry mortar, **plastering/rendering, and floor screeds** in Ireland).
- e. [S.R. 325:2013+A2:2018/AC:2019](#) provides **current recommendations for the design of masonry structures in Ireland** to Eurocode 6 i.e., this Standard Recommendation contains non-contradictory complementary information as guidance material for the use in Ireland of the following EN Eurocode 6 series of standards I.S. EN 1996-1 1, I.S. EN 1996-1-2 and I.S. EN 1996-2 and masonry structures include the use of aggregate concrete blocks in construction (including the use of aggregate concrete blocks to [“EN 771-3 Specification for masonry units - Part 3: Aggregate concrete masonry units](#) (Dense and lightweight aggregates” used in construction).



**information Economic Operators MUST have available for aggregate concrete blocks placed on the market?**

**Specifiers, Designers, Builders, Certifiers and End Users?**

**S.R. 325 & Technical Guidance Documents (TGDs)**



Rialtas na hÉireann  
Government of Ireland

<https://www.gov.ie/en/publication/45415-a-guide-to-the-marketing-and-use-of-aggregate-concrete-blocks-to-en-771-3-in-ireland/>

# A Guide to the Marketing and Use of Aggregate Concrete Blocks to EN 771-3 in Ireland

for manufacturers, importers, distributors, specifiers, designers, builders, certifiers and end users

Version 1.0 April 2022



**WE HAVE READ THIS GUIDE!**

**I HAVE READ & UNDERSTAND THE TGDs & S.R. 325**

**I HAVE READ THIS GUIDE!**

**“I am a self-builder / builder who intends to build (self-build or contract build), a house in the Republic of Ireland  
What are my obligations?”**



# NBCO Training Building Control Inspections CPD 19<sup>th</sup> Sept 2023

National Building Control Office-Building Control Inspections-Mairéad Phelan

(II) a schedule of such plans, calculations, specifications, and particulars as are currently designed or as are to be prepared at a later date,

**Q6-6. Submission of Documents (where applicable): A Schedule of Documents accompanying this Commencement Notice is attached in the following format: Schedule of Documents(Plans, Calculations, Specifications, Ancillary Certificates & Particulars)-**

**Document**

**Reference**

**Description/Remarks**

| Document | Reference | Description/Remarks   |
|----------|-----------|---|
|          |           | e.g., designed/to be designed later (also refer to <a href="#">Code of Practice</a> ) |

**Schedule that may be relied on during process to demonstrate compliance with Building Regulations. All or some of these documents may be requested by the Building Control Authority.**

**VIP for CN with Opt Out Declaration**

16/11/2023

| Document   | Reference  | Description/Remarks<br>e.g., designed/to be designed later (also refer to <a href="#">Code of Practice</a> ) |
|--|--|--|
| Compliance Report with Building Regulations A – M :<br>a) Including any calculations/specifications which cannot be visually demonstrated on a plan drawing e.g., ventilation calculations, requirements for discharge pipes, required distances between drainage access points, height of electrical fixtures, heating appliance specifications, etc. | Report 01  | Uploaded   |
| Site Location plan at a scale of 1:1000/1:2500   | Plan 01  | Uploaded   |
| Floor Plans (each floor separately) at a scale of 1:100  | Plan 02  | uploaded   |
| Elevations (each elevation) at a scale of 1:100  | Plan 03  | uploaded   |
| Sections (long & cross sections) at a scale of 1:100<br><br>1.Foundation details at a scale of 1:50<br>2.Ground floor plate details at a scale of 1:50<br>3.First & subsequent floor plate details at a scale of 1:50<br>4.External wall details at a scale of 1:50<br>5.Surface & foul wastewater plans & sections.                                   | Sections 01<br>Sections 01<br>Sections 02<br>Sections 03<br>Sections 04<br>Sections 05 | uploaded   |
| Structural calculations  | Calc 01  | To be designed   |
| Roof plan & sections   | Sections 06  | To be designed   |
| Draft DEAP Calculations  | Report 02  | uploaded   |
| Provisional BER  | Report 03  | uploaded   |
| Details relating to any gas/heat installation  | Plan 04  | Available on request   |
| Details relating to the electrical installation  | Plan 05  | Available on Request   |
| Details relating to construction products  | Report 06  | Available on request   |
| Any site investigation reports   | Report 04  | Available on Request   |
| Agrément Certificate for ICF Dwelling  | Cert 01  | Uploaded   |
| Details relating to any soakaway/percolation area/septic tank  | Plan 06  | Available on Request   |

# Inspection Programme Protocol, Methodology, Inspections & Recording

**What?-systematic approach –  
standardised**



**Why?-consistency-independence**



## Contents-

# A0004 Inspection Programme Protocol, Methodology, Inspections & Recording

**Section 1: Inspection Programme Protocol** .....

Introduction .....

Efficient use of Inspection Resources .....

Inspection Programme .....

1. Risk Based Inspections .....

2. Random Based .....

3. Complaints Based .....

4. Site Follow-Up / Repeat Inspection / Enforcement .....

5. Non-Technical Building Control Inspections .....

6. Inspections related to Statutory Applications .....

**Section 2: Inspection Methodology** .....

**Section 3: Inspection Recording & Monitoring - Inspection A** .....

1. Power BI Tool .....

2. Software/ licenses needed:.....

3. Hardware: .....

4. NBCO Aggregate the Inspections .....

Powers of inspection by authorised persons. ....

NBCO Training Building Control Inspections CPD 19<sup>th</sup> Sept 2023

National Building Control Office-Building Control Inspections-Mairéad Phelan

### Risk Based Inspections

To calculate the risk score, consideration may be given to a range of factors including but not limited to;

1. Building Use by Purpose Group – see Appendix 2 as defined in TGD B.
2. Types of Works (e.g. new build, extension, material alterations or material change of use)
3. Type of Construction (e.g. masonry, steel, timber frame, modular etc.)
4. Building height, number of stories above ground, below ground)
5. Number of buildings
6. Floor area of the building
7. Notice type:
  - Commencement Notice with Documentation,
  - Commencement Notice without Documentation,
  - 7 Day Notice,
  - Commencement Notice with Opt Out Statutory Dec
8. Change in notified parties (e.g. Builder/Owner/Assign
9. Building Control Officer's professional discretion (e.g.
10. Building Regulations Online Assessment – see Appen
11. Consideration may be given to related applications for Certificates, Regularisation Certificates, Revised Fire Safe Dispensations and Relaxations from the requirements of

[https://www.researchgate.net/publication/259384935\\_Building\\_regulatory\\_enforcement\\_regimes](https://www.researchgate.net/publication/259384935_Building_regulatory_enforcement_regimes)

Careful with over dependency on risk-based enforcement!!

NBCO Training Building Control Inspections CPD 19<sup>th</sup> Sept 2023

National Building Control Office-Building Control Inspections-Mairéad Phelan

### Random Based

- Risk assessment output will identify the highest risk buildings or works notified to a Building Control Authority.
- These may be the most appropriate buildings or works to be inspected.

However, it is necessary to ensure that as broad a range of building types and construction works are inspected, in pursuance of natural justice and good public service delivery.

NBCO Training Building Control Inspections CPD 19<sup>th</sup> Sept 2023

National Building Control Office-Building Control Inspections-Mairéad Phelan

### Complaints Based

In order to ensure best practice in governance and public services management all complaints should be recorded, considered and receive an appropriate response.

On receipt of a complaint it should be assessed to determine the following;

- Does the complaint relate to Building Regulations?
- Does the complaint relate to Building Control Regulations?
- Should the complaint be referred to another section of Local Authority, e.g. nuisance, environment, etc?
- Has the building works been completed within the last five years?
- Has enforcement action previously been taken in relation to the building?
- Is there currently any enforcement action underway on the building?
- Is the complaint related to mainly civil matters between private property owners?
- Care should be taken to appropriately manage potentially vexatious complaints.

Where it is determined that the complaint comes within the remit of Building Regulations an inspection may be carried out where deemed necessary on the basis of the risk presented.

Complaints should be submitted in writing.

A0004 Inspection Programme Protocol, Methodology, Inspections & Recording – F01  
National Building Control Management Project

20190412 F01  
PREPARED by: Sub-Group 1.2 & 4  
APPROVED: Mairéad Phelan-Project Manager

SIGNED: Seamus Coughlin-Chair

*Seamus Coughlin*

Health  
with  
us  
works

LGMA

An Buidé Tíochta, Pleanála  
Ógán Buidé Tíochta  
Department of Housing, Planning  
and Local Government

CCMA  
Construction Skills Development Board  
Construction Skills Development Board



# How to we collate inspection data!

## Building Control Officer-allocation of resources based on Risk



**Record of Inspection**

Building Control Inspections - 2022

19:13

Date and Time of Inspection  
Thursday 14 Septemb... 19:12

Inspected by

Local Authority:

Submission Number

CN Ref No.

CN Type

- Commencement Notice with Compliance Documentation
- Commencement Notice without Compliance Documentation
- Commencement Notice with Opt Out Declaration
- 7 Day Notice

Number of Buildings covered by CN

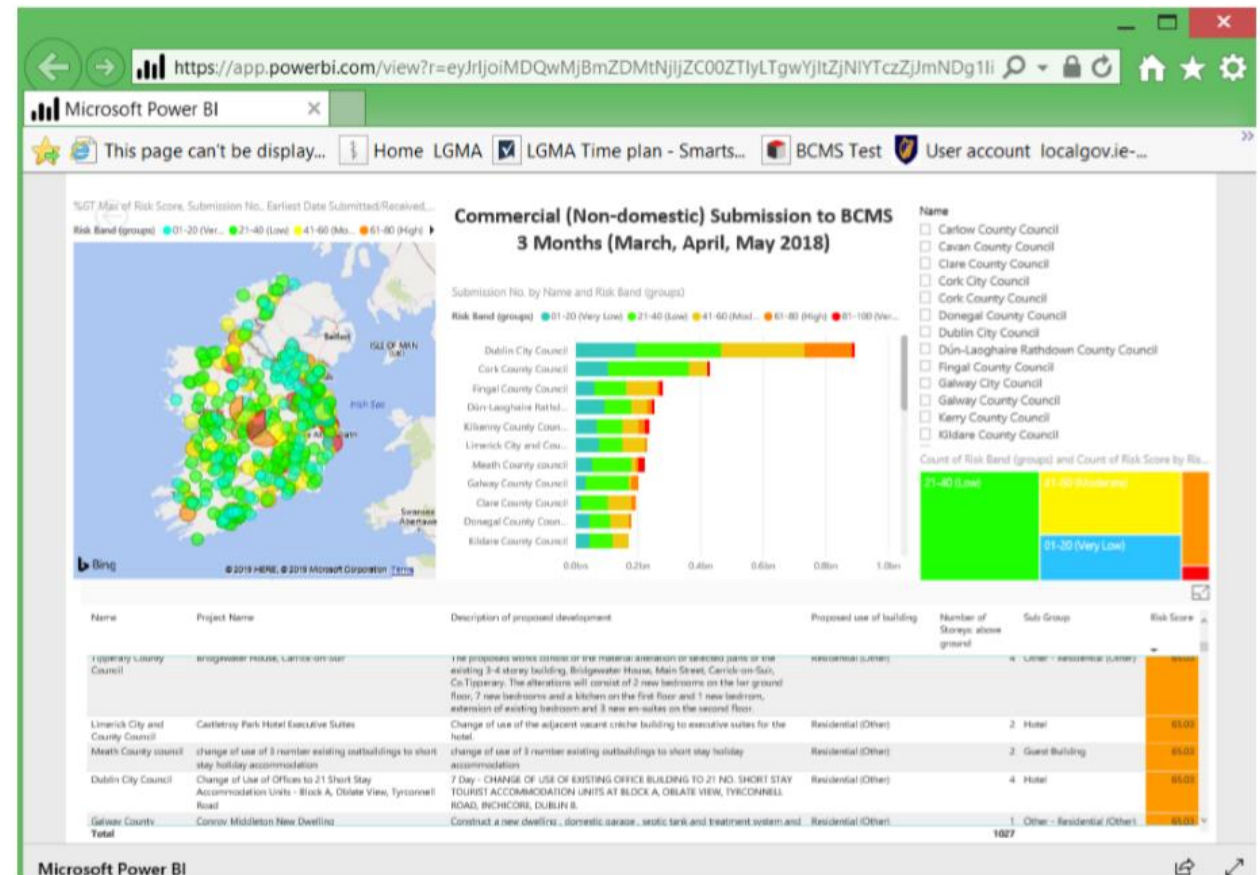
Number of Buildings inspected on this visit

# Section 3: Inspection Recording & Monitoring

## Paper based or Mobile.

- Software/ licenses needed:
- Software options available;
  - ArcGIS - Survey123(App)
  - Safire
  - PRIME
- NBCO Inspection Roll 2020
  - Phase 1: Phase out paper-based inspecting,
  - Phase 2: Data to be collected stored locally to the BCA and shared to a Nationally Map

NBCO run the power BI tool-simplified risk -build on this incrementally-see how it works



# Building Control (Regulations) Management System (BCMS) –data/information Use- Summary –We Must Promote a Culture of Compliance

**Legislation :** Building Control Regulations (Administration) required to outline how compliance with the requirements of the Building Regulations (Design) is achieved

**People:** Competency, Resources & Meaningful Stakeholder Engagement-Do things right first time; time spent in planning & design critical

**Construction:** All forms of construction Traditional, MMC and other innovative construction allowed, welcome & necessary

**Process:** consideration of analysis methodology, concept, checking, site supervision, information provision, and other factors

**Product:** specification of sources and performance requirements or checks on certification. Fit for the purpose, the intended use in the locations & conditions it is to be used for 50-60 years

- Doesn't matter how big or small
- Clarification of roles and responsibilities.
  - Provide a clear programme of works,
  - Ensure a competent person is appointed,
  - Early engagement with affected persons.
  - A detailed (intrusive) compliance risk assessment Parts A-M

**COMPLIANCE CHALLENGES –DO WE KEEP MAKING THE SAME MISTAKES? MANDATORY INSPECTIONS & COMPETENCY OF BUILDERS & DESIGNERS**

- Party B fire safety
- Fire detection and prevention systems
- Improvements to electrical installations and alarms systems
- Completing Fire Compartmentation
- Cavity barriers-not installed or incorrectly installed
- Fire doors-not installed or incorrectly installed
- Fire stopping, collars, barriers-not installed or incorrectly installed
- Retrofitting of roof bracing or wall restraint straps
- Loft conversion or incorrect use of roof space
- Remedial -missing wall ties-not fit for purpose.
- Strapping of walls and floors; and walls and roofs.
- Fixings of Porch Overhangs to Dwellings-incorrect fixing to brick/block walls
- Water ingress Floors –underfloor fill to SR 21
- Balcony detailing and repairs
- Tanking or lack of it in basements and underground rooms
- Construction/ Movement Joints not or incorrectly constructed
- Exterior render inadequate design for exposure and durability –IS EN 13914-1 & SR 325
- Water absorption by block and brickwork -inadequate design or not designed to SR 325



# Building Control-Promoting a Culture of Integrity & Compliance with Building Regulations Beware Organisational Amnesia-Build in Haste.....



An Roinn Oideachais agus Scileanna  
Department of Education and Skills

Skip to Content Twitter Gaelige Site Map A-Z

Find a School

Home Parents Education Staff

Home > School Building & Design > Western Building Systems Information

## Western Building Systems Information

The following is a list of schools constructed by Western Building Systems:

- List of Schools built by Western Building Systems
- Confirmation of compliance with the Building Control Regulations, signed by [Name]
- Certificate of Substantial Completion, signed by KSN Project Management in its Representative for the Department of Education and Skills

Contractor: Western Building Systems Ltd

Date of Substantial Completion: 21<sup>st</sup> August 2009

### OPINION ON COMPLIANCE

We, Western Building Systems Ltd confirm that the cons

In substantial compliance with the Building Control Act 11 Regulations 1997 and the Building Regulations 1997;

In substantial compliance with the contract documents (a

Definitions:

"Building Control Act" means the Building Control Act, 1997 and the enactment thereof current at the date of issue of the Com

Yours sincerely

## Apartment owners could face 'up to €30 million bill to bring complex up to regulations

Residents of Beacon South Quarter in Sandyford have been informed that they may be facing

Jan 24th 2017, 10:43 AM 28,885 Views 84 Comments Share 278

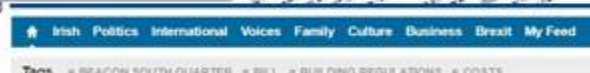
CLOSE TO 600 residents in an apartment complex in south Dublin could face up to a €30 million bill to bring their apartments up to fire safety code.

Residents of Beacon South Quarter in Sandyford have been informed that they may be faced with a huge bill in order to bring their building up to regulation.

Local Fine Gael TD Joseph Madigan said residents are due to be presented with a bill at an AGM on 6 February.



Beacon South Quarter



Tags: BEACON SOUTH QUARTER, BILL, BUILDING REGULATIONS, COSTS

Irish Politics International Voices Family Culture Business Brexit My Feed

IT NEWS SPORT BUSINESS OPINION LIFE & STYLE CULTURE

## Dispute over safety compliance of Temple Bar venue settled

Dublin City Council sought to close Robey's restaurant over building regulation issues

By Phil, 04 11 2016, 10:14



Temple Bar building

## High Court orders landlord to evacuate tenants over fire

A high court judge has ordered a landlord to evacuate tenants from a property in Dublin City Centre because of a fire safety issue.



The property in Dublin City Centre

## State 'has duty' to help subcontractors after Carillion collapse

Businesses 'shuffled' over PPP project to build five schools. Ombudsman committee hears

By Phil, 04 11 2016, 09:30



Man in suit speaking

## Donegal building firm Cassidy Brothers issues statement responding to horror stories of homes falling apart due to defective Mica-contaminated

and balcony inspections development



Building site

## Negligence in some Celtic Tiger buildings 'put lives at risk'

Compliance report recommends fire checks on 1980s and 2000s developments

By Phil, 04 11 2016, 09:48



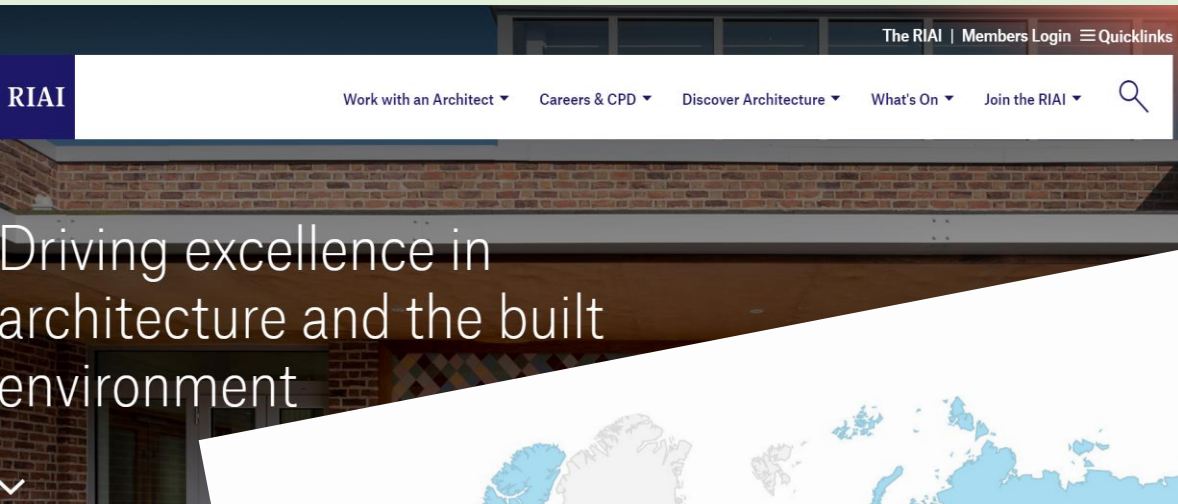
Celtic Tiger building

There was "a significant level of non-compliance, negligence and incompetence" in some Celtic Tiger-era building developments which put people's lives at risk, a report by an Ombudsman committee states.

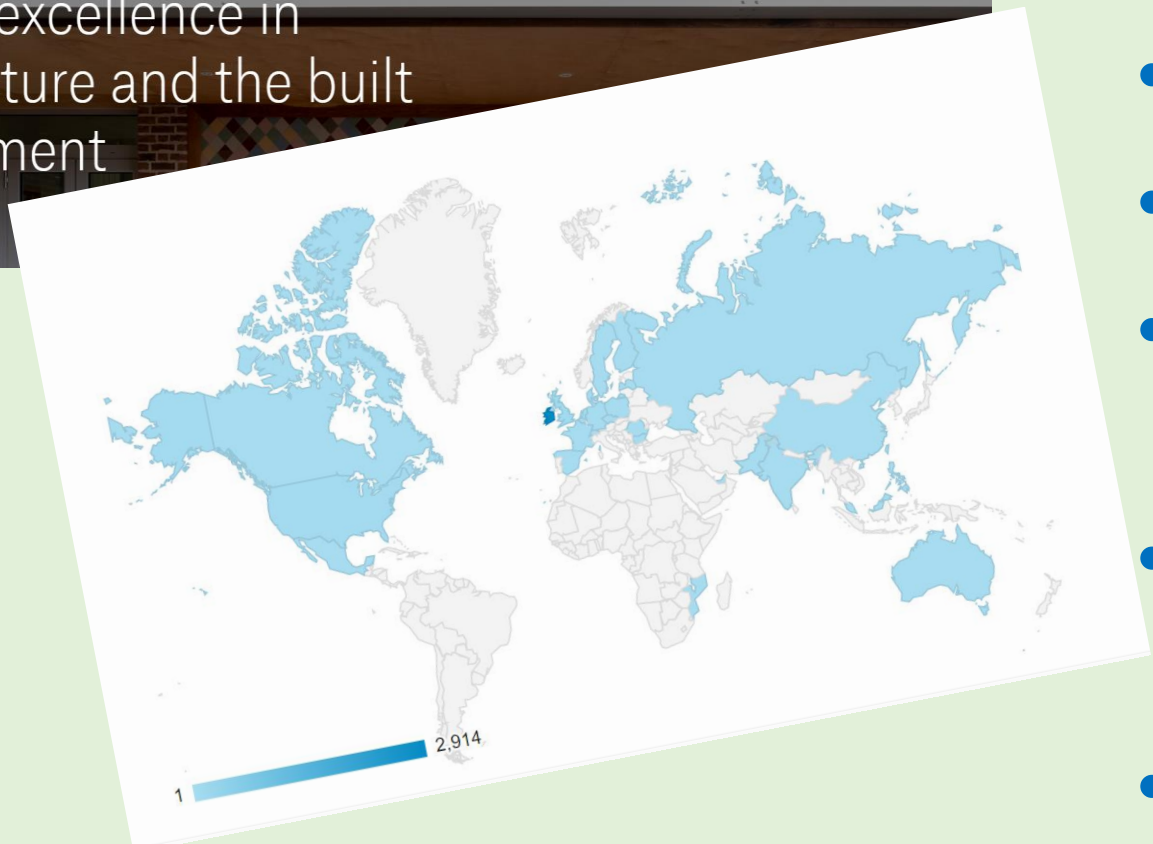
The Ombudsman's committee has been assessing the failure of building standards during the building boom in the 1980s and 2000s and it recommends that fire risk assessments be carried out on developments from that time.



BCMS-... [support@nbco.gov.ie](mailto:support@nbco.gov.ie)



Driving excellence in  
architecture and the built  
environment



## Compliance culture to ensure;

- **Health,**
- **Safety and**
- **Welfare of people in or about buildings**
- **Conservation of fuel and energy**
- **Access for all**



**FIT  
FOR**

Thank you for **PURPOSE**  
your participation

Buildings Must Last 60 -100 years

