

# Online Assessment and Schedule of Documents



*An Oifig Náisiúnta um Rialú Foirgníochta*  
NATIONAL BUILDING CONTROL OFFICE

## CPD Day Commencement Notices 15th November 2023

- Education & Training
- Compliance Support
- Inspections
- BCMS

[support@nbco.gov.ie](mailto:support@nbco.gov.ie)

Website: [www.localgov.ie](http://www.localgov.ie)

Twitter: [@NBCOIreland](https://twitter.com/NBCOIreland)

YouTube: [NBCO DCC](https://www.youtube.com/NBCO_DCC)



# Requirements for Schedule of Documents and Online Assessment under Article 9 of the Building Control Regulations; 9 (b) (i) II & III

9. (1) A commencement notice shall be—

(a) filed electronically on the Building Control Management System or set out in the form for that purpose included in the Second Schedule, and

(b) (b) subject to paragraph (2), accompanied by—

(i) such plans, calculations, specifications and particulars as are necessary to outline how the proposed works or building will comply with the requirements of the Second Schedule to the Building Regulations relevant to the works or building concerned, and including—

(I) general arrangement drawings including plans, sections and elevations,

**(II) a schedule of such plans, calculations, specifications and particulars as are currently designed or as are to be prepared at a later date,**

**(III) the completion of an online assessment, via the Building Control Management System, of the proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations,**

(IV) the preliminary Inspection Plan prepared by the Assigned Certifier, and

(ii) the following certificates and notices ...

# Outline of Presentation

- Purpose of Online Assessment
  - Proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations
    - Risk identification for Designers
    - Risk Assessment for Building Control Authorities
    - Outline of Building Regs and Common Defects
    - Risk Index
- Online Assessment;
  - Creation of Notice on BCMS
  - Building Particulars
  - Parts A-M
  - As a Data Resource – Data Portal
- Schedule of Documents Q6 of the Commencement Notice
  - Upload on BCMS
  - Examples of Schedule of Documents

# Purpose of Online Assessment

## Risk identification for Designers:

When correctly completed Online Assessment identifies risk of a non-compliance with the Building Regulations that are present for the proposed building or works and can be utilised as a part of risk identification in relation to the Building Regulations.

The Online Assessment has been designed in association with the Building Control Authorities, the Building or Works must be considered in relation to the Building Regulations, the proposed building and required information submitted to the Building Control, e.g., Part C (Site Preparation and Resistance to Moisture)

### Part C (Site Preparation and Resistance to Moisture)

Is the site located in an area of high radon?\*

The following URL <http://www.epa.ie/radiation/radonmap/> will bring them to the most up to date map.



- Has the latest Radon Map been checked?
- Is the proposed building located in the High Radon area, has the rising wall/DPC level been detailed to include for Radon Barrier?
- Has Radon barrier been specified in accordance with Part C and Part D (Agrément Cert)?

The person completing the Online Assessment must be competent, understands the requirements of the Second Schedule to the Building Regulations and the complexities of the Building or Works and the Site to complete it correctly.

# Brief Outline of the 12 Parts of the Building Regulations

<b>Brief Outline of the 12 Parts of the Building Regulations- Building Control Act 1990-2007</b>		
<p><b>Part A: Structure</b> A building must be designed and constructed so that any building loading including imposed &amp; wind and/or ground movement to not impair the stability of the building or any part of it.</p>	<p><b>Part E: Sound</b> Walls &amp; Floors shall be designed &amp; constructed to have reasonable resistance to airborne and impact sound.</p>	<p><b>Part J: Heat Producing Appliances</b> Shall be designed to reduce to a reasonable level the risk of the building catching fire; be installed that there is an adequate supply of air to it for combustion &amp; discharge combustion products to the outside air via an efficient working flue pipe or chimney. Fixed oil storage tank which shall be located as to reduce to a reasonable level the risk of fire Spread</p>
<p><b>Part B: Fire</b> A building must have adequate means of escape in case of fire to a place of safety outside. Internal linings &amp; Walls common to two or more buildings that offer adequate resistance to fire spread. Concealed Spaces that are protected to prevent the unseen spread of fire and smoke. External walls and roof that afford adequate resistance to the spread of fire to and from neighbouring buildings. There shall be provision for access for fire appliances.</p>	<p><b>Part F: Ventilation</b> Adequate means of ventilation shall be provided for people in buildings; the purpose being to limit the moisture content of the air within the building so that it does not contribute to condensation and mould growth, and limit the concentration of harmful pollutants in the air within the building. Adequate provision shall be made to prevent excessive condensation in a roof or in a roof void above an insulated ceiling.</p>	<p><b>Part K: Stairways, Ladders, Ramps &amp; Guards</b> Stairways, ladders and ramps shall afford safe passage for the users of a building. The sides of every floor and balcony and every part of a roof to which people normally have access shall be guarded to protect users from the risk of falling therefrom. The sides of every vehicle ramp and every floor and roof to which vehicles have access shall be guarded against the risk of vehicles falling therefrom.</p>
<p><b>Part C: Site Preparation &amp; Resistance to Moisture</b> Sites should be properly cleared from vegetable matter. Is Subsoil drainage provided where necessary. Has Reasonable precautions been taken to avoid Dangerous substances including contaminants such as Radon. Is the building Resistance to weather in that it does not allow the passage of moisture to the inside of the building or cause damage to the fabric of the building.</p>	<p><b>Part G: Hygiene</b> A building should have a bathroom containing a bath or shower bath, a washbasin; a kitchen containing a sink and draining board; adequate sanitary convenience (maximum flush) with washing facilities; a suitable installation for the provision of hot and cold water to them. Underground service pipe from meter/stopcock to the dwelling have a minimum cover of 600mm. Cold water cistern, located in attic, to have top and sides of the cistern insulated.</p>	<p><b>Part L: Conservation of Fuel &amp; Energy</b> A building shall be designed and constructed so as to ensure that the energy performance of the building is such as to limit the amount of energy required for the operation of the building. and the amount of carbon dioxide (CO<sub>2</sub>) emissions associated with this energy use insofar as is reasonably practicable i.e. the requirements so that the building can be operated in such a manner as to use no more fuel and energy than is reasonable.</p>
<p><b>Part D: Materials &amp; Workmanship</b> All works shall be carried out with proper materials and in a workmanlike manner. Materials should be fit for the use and the conditions for which they are intended and should be properly certified with a CE Marking or have an approved Agrément Board Certificate.</p>	<p><b>Part H: Drainage &amp; Wastewater Disposal</b> There should be adequate and independent disposal of foul and surface water from the building. Wastewater treatment system shall be so designed, sited and constructed that it does not cause a public safety and/or pollution risk</p>	<p><b>Part M: Access &amp; Use</b> Adequate provision shall be made for people to access and use a building, its facilities and its environs, extensions. If sanitary facilities are provided in a building that is to be extended, adequate sanitary facilities shall be provided for people within the extension.</p>

# Some Common Defects in New Buildings

Some Common Defects in New Buildings		
<p><b>Part A-</b>  <b>Render/Stucco;</b> defects associated with render are usually excessive cracking. Cracking can be caused by a number of issues. Structural deficiencies are one of the leading causes. Structural components such as a shear walls (timber wall) are either missing or improperly installed causing the stucco to bear a load that it wasn't designed to bear. Soil or underfloor fill settlement and/or heaving can also cause render. Another cause is render shrinkage. This is normally due to improper mix or mix applied in severe weather conditions.  <b>Balconies and Decks;</b> Balconies and decks have many of the same problems as roofs. Usually, there are installation problems involving the underlayment and flashing. Ponding of water on the decks is also an issue. Ponding will cause the premature deterioration of the deck surface.  <b>Non Standard Construction Methods and/or Materials:</b> Balcony construction, flashing water proofing  <b>Structural issues;</b> Wall ties, Vents in cavity walls, Sound insulation and incorrect fixing/sealing @ wall/floor/ceiling joints</p>	<p><b>Part B-</b>  <b>Fire Stopping:</b>  <b>Top of Party walls;</b> missing or have incorrectly fitted mineral fibre quilt fire stopping over non-combustible building board cavity barrier or other type of fireproofing material designed to prevent fire from spreading across Party Walls i.e. the space between the top of the party wall and the roof is not sealed to adequately prevent the spread of fire/smoke. Plasterboard with staggered joints.  <b>Eaves at Party Wall/external wall ..</b>  <b>Vertical at Party Wall/external;</b>  <b>Wall Vents;</b> inadequately fixed or no cavity barrier around wall vents  <b>Ceilings-</b>fire rating  <b>Stairways;</b> encasement  <b>Means of Escape;</b> smoke alarms  <b>Fire Detection and Alarm Systems</b></p>	<p><b>Part C-</b>  <b>Exterior leaks</b> The most common problems, which also happen to be the most expensive to fix, are leaks in the building's protective envelope, roofing and exterior insulation.  <b>Part C-A</b>  <b>Exterior walls;</b> have insulation requirements and often builders don't follow them properly; fixing of dpc, bonding, jointing, air vents, wall ties which results in early defects usually visible and others that do not manifest until moisture leaks inward and causes damage inside the building to cause mould growth....  Balcony construction, flashing water proofing</p> <p><b>Part D-</b>  <b>Roofs;</b> There are so many different qualities of roof systems, flashing, jointing, materials....  <b>Windows:</b> The operation of windows defects in the window locks, failure to open, failure in gaskets or drafts in window perimeters; This can be a sign of soil settlement, structural deficiencies or just a bad product; flashing, location of horizontal and vertical cavity barriers @ heads and jambs respectively; cill fittings, dpcs...  <b>Sloppily installed or defective timber floors:</b> curving upward, the finish is not correct, warped, big gaps between the boards; often floor is an engineered floor system which is not properly installed; underfloor leak.</p>
<p><b>Part E-</b>  <b>Non Standard Construction Methods and/or Materials:</b> timber floors, soft coverings for sound. Balcony construction, flashing water proofing</p>	<p><b>Part J-</b>  <b>Flue Pipes gas burning appliances;</b>- separated from combustible materials; encased in a non-combustible sleeve where they pass through a wall, floor or roof.  <b>Flue Pipes-solid fuel appliances;</b> separated from combustible materials; encased in a non-combustible sleeve where they pass through a wall, floor or roof  <b>Heat Producing appliances;</b> check the distances required for separating these appliances with air space and non combustible shields from combustible materials</p>	<p><b>Part F-</b>  <b>Ventilation:</b> Owners often complain about smells and bad ventilation in public hallways, or inadequate exhaust in bathrooms or kitchens.  <b>Mould Growth</b></p>
		<p><b>Part G-</b>  <b>Incorrect WC flush</b>  <b>600mm cover service pipe from stopcock</b>  <b>Connection of foul sewer to surface water</b>  <b>No insulation attic tank</b></p>

# Purpose of Online Assessment

## Risk Assessment for Building Control Authorities:

Building Control Officers can utilise the Online Assessment as part of their Risk Assessment as noted in the Framework for Building Control Authorities

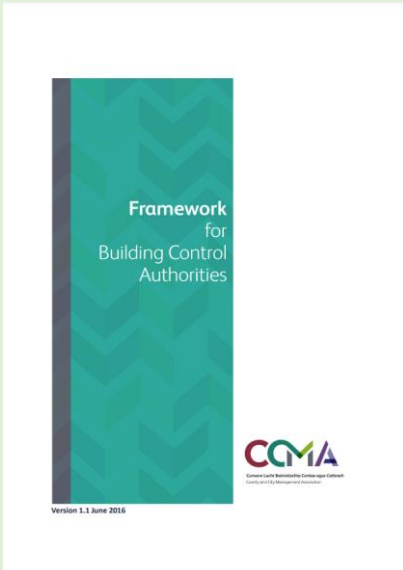
### 4.3 Risk assessment approach

Building Control Authorities should establish procedures so that assessments of all projects are carried out in a transparent and consistent manner. Factors that would be taken into account when carrying out a risk assessment include:

- (a) **Type and use of building;**
- (b) **Location of the development**
- (c) **Form of construction** and expertise of the Builder;
- (d) **How complicated or relatively straightforward the method of construction is;**
- (e) Whether recent experience indicates current problems in interpreting and/or achieving compliance with certain requirements;
- (f) **How serious the consequences of a particular Part A-M contravention might be;** and
- (g) The impracticability or impossibility of subsequent inspection of closed up work.
- (h) Proximity to Building Control Authority offices
- (i) Developments which avail of the exemptions as set out in Building Control Amendment (No 2) Regulations of 2015, S.I. 365 of 2015

In order to ensure that a risk assessment is suitable and sufficient it should:

- (a) Identify the stages within a construction programme where it would be reasonable to carry out inspections, given the risk, in order to prevent or detect non-compliance;
- (b) Indicate the approximate number of inspections that would be proportionate to the risk and would reasonably be needed to survey a project as a whole and per construction stage; and
- (c) Indicate the elements that will reasonably need to be inspected at each stage, especially any that need to be highlighted to the Assigned Certifier, in order to ensure that they are available to view at the time of inspection, and to ensure that the Inspection Notification Framework is appropriately updated. Appendix IV outlines a non-complex process for inspection milestones.

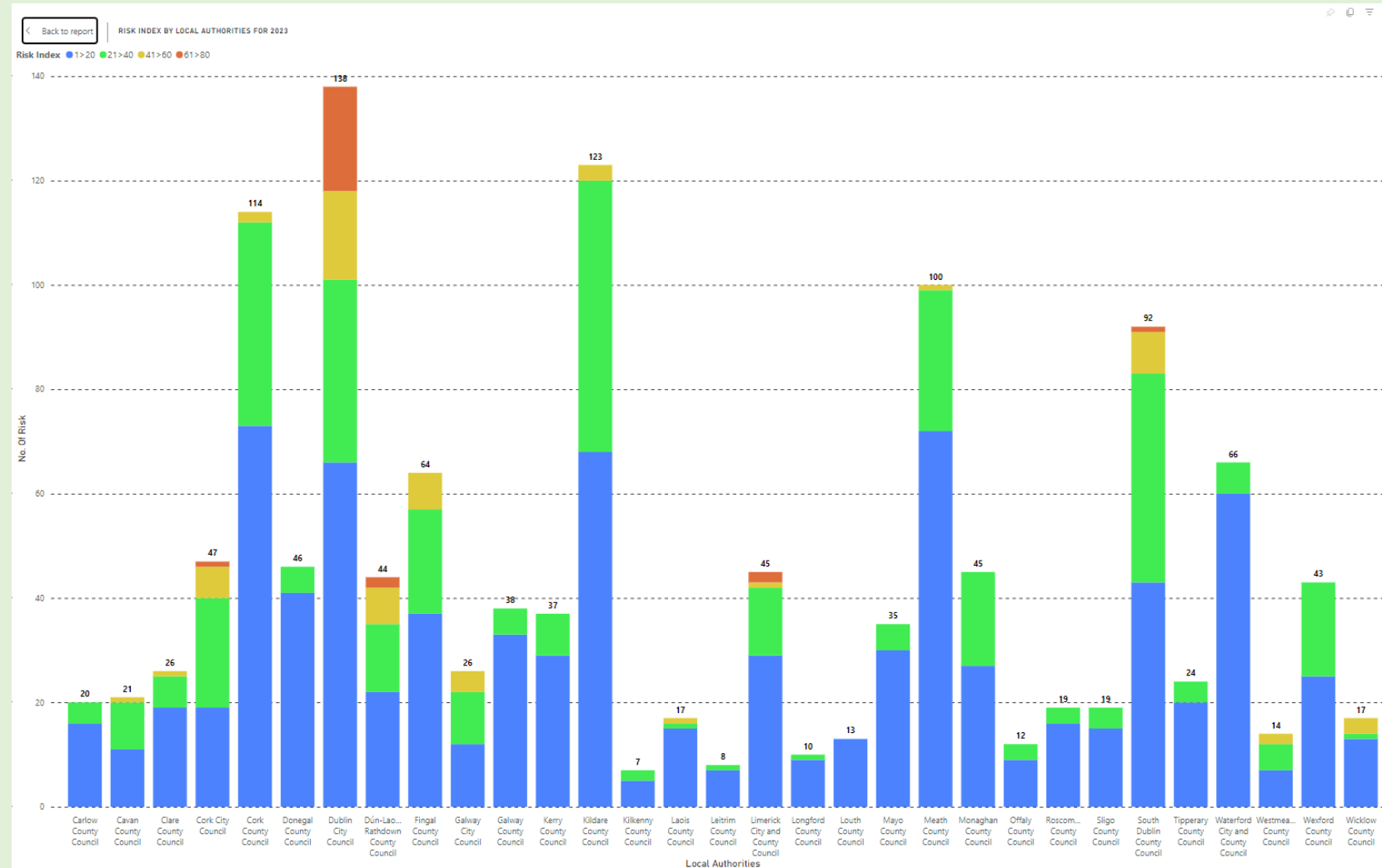


[https://nbco.localgov.ie/sites/default/files/framework\\_for\\_building\\_control\\_authorities\\_june\\_2016\\_0.pdf](https://nbco.localgov.ie/sites/default/files/framework_for_building_control_authorities_june_2016_0.pdf)

# Online Assessment - Risk Index

## Risk Index

The NBCO with the assistance of Colin Barden (Waterford city and County Council) is in the process of developing a Power Bi tool that uses the parameters entered into the Online Assessment to create a Risk Index for Commencement Notices as an aid in the Risk Assessment for Building Control Authorities.





# Online Assessment – BCMS – Creation of Notice

My Dashboard | National Building Control and Market Surveillance Office

Home > My Dashboard

## My Dashboard

Use the tabs below to create and/or view your Notices and/or Certificates.

- My Dashboard
- My Details
- My Notices + New notice**
- My Applications (Beta mode) + New Application
- My Certificates + New certificate
- Take a tour
- Logout

**CHRISTMAS CLOSURE DATES FOR BCMS**  
 BCMS Notice - The Christmas Closure Period for Commencement Notice, 7 Day Notice and Applications (Fire Safety Certificates, Disability Access Certificates, Dispensations and Relaxations) Submissions. The BCMS will be closed to the submission of Commencement Notices, 7 Day Notices and Applications (including Further Information or Revised Information) from 11.59pm on Tuesday the 19th of December 2023 to 12:01am on Tuesday the 2nd of January 2024.

Certificates of Compliance on Completion will not be added to the Register between 19th December 2023 and 2nd January 2024, and you should consider this in mind when submitting a prior notification of completion. Please liaise with the relevant Local Building Control Authority should you have any queries, particularly in relation to the submission of 7 Day Notices etc."

\*\*\*\*\*

**S.I. No. 229 of 2021 Building Control (Amendment) Regulations 2021 UPDATE**

S.I. No. 229 of 2021 Building Control (Amendment) Regulations 2021 took effect on July 1st 2021. These Regulations amend certain provisions of the Building Control Regulations (the "Principal Regulations") to allow for Applications to be "filed electronically on the Building Control Management System". These changes, in accordance with S.I. No. 229 of 2021, which have been put in place by the NBCMSO, are as follows:

- Statutory Forms:** Updated formats of Application Forms and Statutory Declaration Form (Regularisation Certificate).
- Regularisation Certification:** S.I. No. 229 of 2021 now enables the electronic submission of the Statutory Declaration. A hard copy must be retained for inspection by the Building Control Authority, as may be required, but is no longer required at submission stage.
- Nominated Roles:** Nominated Roles for Applications now include Owner, Applicant and Preparation of [Applicant Type] Application. This has removed the need for Person or Firm Responsible for Preparation of Accompanying Calculations and Specifications and Person or Firm to Whom Notifications Should be Forwarded (except for Dispensation & Relaxation Applications).

Please note that any application process currently in progress, i.e. not submitted, may need to be amended prior to submission for the above changes to take effect. In the event that you are unable to progress an incomplete application, i.e. not submitted, the application submission process must be commenced from the beginning.

\*\*\*\*\*

Select the type of Notice you wish to submit.

**NEW SEVEN DAY NOTICE**

During the submission process you will be asked for:

- Details of the building project and each type of building
- General arrangement drawings, including plans, sections and elevations
- The name and email address for each "role" in the project
- To download, sign and scan the statutory documents
- Schedule of Document (in format as per 6. of Commencement Notice)
- Preliminary Inspection Plan
- Payment of the correct fee

[New Notice](#)

**NEW COMMENCEMENT NOTICE WITH COMPLIANCE DOCUMENTATION**

During the submission process you will be asked for:

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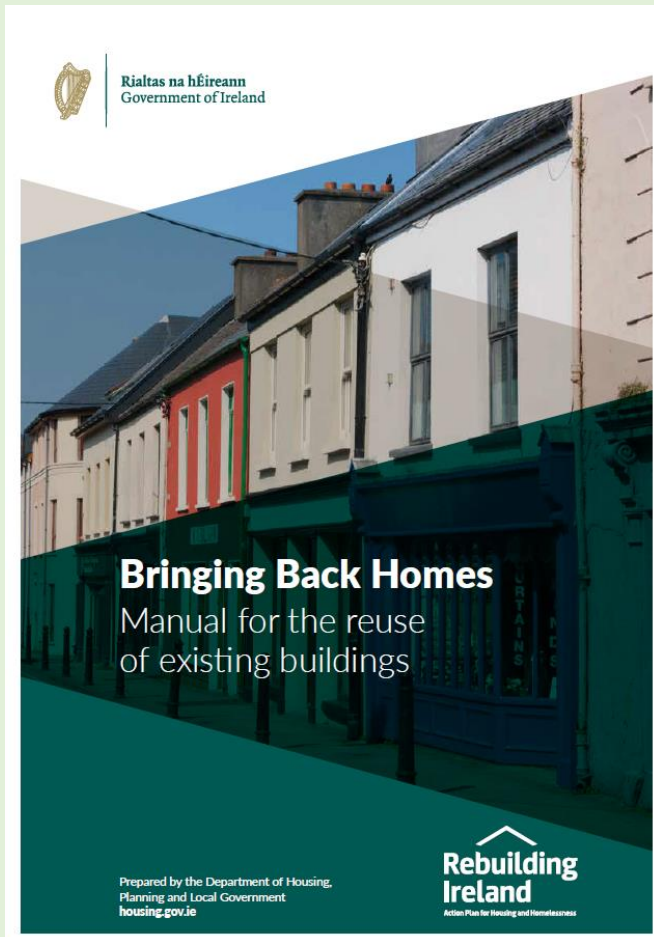
**NEW COMMENCEMENT NOTICE WITH OPT OUT DECLARATION**

During the submission process you will be asked for:

- Details of the building project and each type of building
- General arrangement drawings
- The name and email address for each 'role' in the project
- To download, sign and scan the statutory documents
- Schedule of Document (in format as per 6. of Commencement Notice)
- Payment of the correct fee

[New Notice](#)

# Online Assessment – Selection of Commencement Notice Type



## Flowchart to establish if a Commencement Notice is required

**DOES THE PROJECT INVOLVE:** S.I. No. 496 of 1997 Art 7 (1)

(a) an erection of a building,  
 (b) the material alteration of a building, or the extension of a building  
 (c) the material change of use of a building to which the Building Regulations apply.

**NO**  
 No Commencement Notice

Material Alteration means an alteration, (other than a repair or renewal) where the work or any part of the work, carried out by itself would be the subject to a requirement of Part A or B of the Second Schedule.  
 Material Change of Use: is a change of use, deemed by Section 3(3) of the Act to be a material change of use, takes place, or a building which was not being used as a i) a day care centre, becomes so used, or ii) a hotel, hostel or guest building, becomes so used, or iii) an industrial building becomes so used, or iv) an institutional building becomes so used, or v) an office (which is not ancillary to the primary use of the building) becomes so used, or vi) place of assembly becomes so used, or vii) a shop (which is not ancillary to the primary use of the building), becomes so used, or viii) a shopping centre, becomes so used.

Building: includes part of a building and any class or classes of structure which are prescribed by the Minister to be a building for the purposes of the Building Control Act.

Exemptions from Building Regulations: works in connection with a building referred to in the 3rd schedule to the Building Regulations, provided that after the works are carried out, such building is or continues to be a building referred to in that schedule, or a building referred to in the 3rd schedule to the Building Regulations. See 3rd schedule for detail - abbreviated version in table below.

See Third Schedule to regulation for full description, conditions and limitations of classes.	Class 3: A single storey extension to an existing dwelling which is ancillary to the dwelling and consists of a conservatory, porch, car port or covered area.	Class 6: A building erected in connection with any mine or quarry other than a house or a building used as offices, labs or showrooms.	Class 9: Used to be ESB buildings but entire class deleted since Sept 2006 (S.I. No. 115 of 2006)	Class 12: A temporary building which is used only in connection, alteration, extension or repair of any work.
Class 1: A single storey building used as a garage (detached, +25m <sup>2</sup> height <3 or 4m for pitched roof)	Class 4: A single storey agricultural glasshouse (not being a building in Class 2)	Class 7: A building the construction of which is subject to the Explosives Act 1875.	Class 10: A temporary dwelling as in the Local Government (sanitary services) Act, 1948 (No.3 of 1948)	Class 13: A building of a temporary nature erected on a site for ≤ 28 consecutive days or 60 days in a 12 month period.
Class 2: A single storey building ancillary to a dwelling (such as a summer house, poultry house, conservatory, shed)	Class 5: A single storey building which is used exclusively for storage of materials, accommodation of plant or in connection with livestock.	Class 8: A building subject to the National Monuments Act 1930-1994	Class 11: A temporary building used only in connection with the sale or letting of buildings or building plots in course of development.	Class 14: A lighthouse or similar structure which is an aid to navigation on water.

**YES**

**DO ANY OF THE FOLLOWING EXEMPTIONS APPLY?** S.I. No. 496 of 1997 Art 6

(a) (Deleted by S.I. No. 365 of 2015)  
 (b) works in connection with  
 i. a Garda station or other building used for the purposes of or in connection with the operations of An Garda Síochána  
 ii. a courthouse,  
 iii. a barrack or other building used for the purposes of or in connection with the operations of the Defence forces.  
 iv. an office or other building used for the purposes of or in connection with the business of Uachtarán na h-Éireann, Dáil Éireann, Seanad Éireann, the Department of the Taoiseach, the Office of the Tánaiste, the Department of Defence, the Department of Foreign Affairs, the Department of Justice, Equality and Law Reform, the Office of the Attorney General, the Chief State Solicitor's Office and the Office of the Director of Public Prosecutions; (provided that after the works the building is or continues to be a building referred to in sub-paragraphs (i) to (iv))  
 (c) works, or a building as regards which a material change of use takes place, where the works are carried out or the material change of use is made, for reasons of national security -  
 i. within, or bounding, the curtilage of any building (other than a building referred to in paragraph (b)), premises or other installation occupied by, or under the control of, a State Authority,  
 ii. by or on behalf of a State authority, within, or bounding, the curtilage of the residence of a holder, or former holder, of a public office or any other public servant or former public servant.  
 (d) a building referred to in paragraph (b)

**NO**  
 No Commencement Notice

Continued overleaf >>>>

Continued from previous page

**IS A FIRE SAFETY CERTIFICATE REQUIRED? i.e. is it?** S.I. No. 496 of 1997 Art 7 & 11

(a) a new building  
 (b) a material alteration of  
 i. a daycare centre,  
 ii. a building containing a flat,  
 iii. a hotel, hostel or guest building, or  
 iv. an institutional building, or v. a place of assembly, or  
 vi. a shopping centre  
 but excluding works to such buildings, consisting solely of minor works  
 (c) material alteration of a shop, office or industrial building where -  
 i. additional floor area is being provided within the existing building, or  
 ii. the building is being subdivided into a number of units of separate occupancy  
 (d) extension of a building by more than 25m<sup>2</sup>  
 (e) a material change of use

**YES**  
 Commencement (or 7 Day Notice) + Accompanying Documents (S.I. No. 9 of 2014)

**Exemptions from a Fire Safety Certificate**

(a) a single storey building which -  
 i. is used exclusively for storage of materials or products, for the accommodation of plant or machinery or in conjunction with the housing care or management of livestock,  
 ii. is used solely for the purpose of agricultural, and  
 iii. is a building in which the only persons habitually employed are engaged solely in the care, supervision, regulation, maintenance, storage or removal of the materials, products, plants or machinery or livestock in the building  
 (b) a building used as a dwelling other than a flat,  
 (c) a single storey building used as a domestic garage,  
 (d) a single storey building (other than one described in (c) ancillary to a dwelling (such as a summer house, poultry-house, aviary, conservatory, coal shed, garden tool shed or bicycle shed) which is used exclusively for recreational or storage purposes or the keeping of plants, birds or animals for domestic purposes and is not for the purpose of any trade or business or for human habitation.

**NO**

Is it a material alteration (excl. minor works) of a shop, office or industrial building exempt from a Fire Safety Cert? S.I. No. 496 of 1997 Art 7

**YES**  
 Commencement Notice only

**NO**

Is it a new dwelling or an extension to a dwelling with a total floor area of > 40m<sup>2</sup>?

**YES**

In the case of a new single dwelling on a single unit development, or an extension to a dwelling, has the Building Owner decided to "Opt-Out" of Statutory Certification?

**YES**  
 Commencement Notice + Accompanying Documents (S.I. No. 365 of 2015)

**NO**  
 Commencement Notice + Accompanying Documents (S.I. No. 9 of 2014)

Is it considered "exempted development" under Planning Act (1963 - 1993)? S.I. No. 496 of 1997 Art 7 2(a)

**YES**  
 No Commencement Notice

**NO**  
 Commencement Notice only

# Online Assessment - Commencement Notices – BCMS

## NEW SEVEN DAY NOTICE

During the submission process you will be asked for:

- Details of the building project and each type of building
- General arrangement drawings, including plans, sections and elevations
- The name and email address for each "role" in the project
- To download, sign and scan the statutory documents
- Schedule of Document (in format as per 6. of Commencement Notice)
- Preliminary Inspection Plan
- Payment of the correct fee

## NEW COMMENCEMENT NOTICE WITH COMPLIANCE DOCUMENTATION

During the submission process you will be asked for:

- Details of the building project and each type of building
- General arrangement drawings, including plans, sections and elevations
- The name and email address for each "role" in the project
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## NEW COMMENCEMENT NOTICE WITH OPT OUT DECLARATION

During the submission process you will be asked for:

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- General arrangement drawings
- The name and email address for each 'role' in the project
- To download, sign and scan the statutory documents
- Schedule of Document (in format as per 6. of Commencement Notice)
- Payment of the correct fee

All types of Commencement Notices require the submission of;  
Details of building project and each type of Building – Online Assessment  
Schedule of Documents (in format as per Q6. of the Commencement Notice), including as designed and to be designed

# Online Assessment on Building Control Management System

Article 9 b i III (Building Control Regulations)  
(III) the completion of an online assessment, via the Building Control Management System, of the proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations,

- My Dashboard
- My Details
- My Notices  
+ New notice
- My Applications (Beta mode)  
+ New Application
- My Certificates  
+ New certificate
- Take a tour
- Logout

- Project Particulars
- Online Assessment**
- Nominate Roles
- Statutory Documents
- Supporting Documents
- Payment

[Edit](#)

### Notice Details

<b>Submission No.</b> 8507913	<b>Notice Type</b> Commencement Notice With Compliance Documentation
<b>Local Authority</b> Local Authority	<b>Commencement Date</b> 26/11/2023
<b>Proposed end date for this phase</b> 30/11/2024	<b>Is planning permission required for these works?</b> No
<b>Project Name</b> NBCO Test	<b>Activity Type</b> New Building (construction of a new building)

- My Dashboard
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+ New notice
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- Project Particulars
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[Add Building](#) This Project has no buildings, click [here](#) to add building.

### Summary

Fee	Total No. of Apartment/Maisonette Units	Total No. of Dwelling Units	Total No. of Buildings
0.00	0	0	0

# Online Assessment – Building Particulars

Project Particulars  
  Online Assessment  
  Nominate Roles  
  Statutory Documents  
  Supporting Documents  
  Payment

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**Building Particulars** ▼

**Building Name / Brief Description\*:**

Does the building/works involve a protected structure or national monument\*:

FSC No. (if applicable):

DAC No. (if applicable):

**Type of Building or Works\*:**

Construction of a new building(s)  
 Extension to existing building(s)  
 Material alteration of existing building(s), or part  
 Material change of use of existing building(s), or part

**Proposed use of building\*:**

Residential (Dwellings)  
 Residential (Institutional)  
 Residential (Other)  
 Office  
 Shop  
 Shopping Centre  
 Assembly and Recreation  
 Industrial  
 Storage  
 Agricultural  
 Other (Non Residential)

**No. of Buildings of this building type\*:**

If you have several buildings on the same Commencement Notice, use sensible names to differentiate them.

Project Particulars  
  Online Assessment  
  Phasing  
  Nominate Roles  
  Statutory Documents  
  Supporting Documents  
  Payment

Building Identifier	Purpose group	Options
Semi-detached dwellings	Residential (Dwellings)	<a href="#">View</a>
Semi-detached dwellings	Residential (Dwellings)	<a href="#">View</a>
Semi-detached dwellings	Residential (Dwellings)	<a href="#">View</a>
Detached dwelling	Residential (Dwellings)	<a href="#">View</a>

**Building Identifier**

---

Semi-detached dwellings

---

Semi-detached dwellings

---

Semi-detached dwellings

In this validated notice all there are 3 types of Semi-detached dwellings all with the same Building Identifier

# Online Assessment – Building Particulars

- ✓ Project Particulars
- Online Assessment
- Nominate Roles
- Statutory Documents
- Supporting Documents
- Payment

## Building Particulars

Building Name / Brief Description\*:

Does the building/works involve a protected structure or national monument\*:

FSC No. (if applicable):

DAC No. (if applicable):

Type of Building or Works\*:

- Construction of a new building(s)
- Extension to existing building(s)
- Material alteration of existing building(s), or part
- Material change of use of existing building(s), or part

Proposed use of building\*:

- Residential (Dwellings)
- Residential (Institutional)
- Residential (Other)
- Office
- Shop
- Shopping Centre
- Assembly and Recreation
- Industrial
- Storage
- Agricultural
- Other (Non Residential)

No. of Buildings of this building type\*:

The information button (widget) will inform the user regarding the requirements of each query or link to external site or extract from the relevant TGD to assist in the required selection

The BCMS allows for multiple uses within one building e.g. Residential Dwellings, Office and Shop.



Proposed use of building\*:

- Residential (Dwellings)
- Residential (Institutional)
- Residential (Other)
- Office
- Shop
- Shopping Centre
- Assembly and Recreation
- Industrial
- Storage
- Agricultural
- Other (Non Residential)

No. of Buildings of this building type\*:

Sub Group\*:

- Dwelling house(s)
- Dwelling house(s) with attached garage
- Detached Garage
- Dwelling - Maisonette(s) / Duplex(es)
- Dwelling - Apartment(s) / Flat(s)
- Dwelling - Community Dwelling(s)
- Other - Residential (Dwellings)

Other - Office

Other - Shop

No. of apartments/maisonettes in this building\*:

# Online Assessment – Building Particulars

**Dwelling House Type\*:**  **No. of Buildings of this building type\*:**  **Are the works being carried out by or on behalf of an Approved Housing Body\*:**  **Are the works being carried out by or on behalf of a Local Authority\*:**

**Type of Construction\*:**

- Timber Frame
- Masonry
  - Brick
  - Block
  - Stone
- Concrete
- Steel
  - Structural Steel
  - Light gauge Steel
- Other

**Is the load-bearing structure pre-fabricated off-site\*:**  **Number of Storeys: above ground\*:**

**Number of Storeys: below ground\*:**  **Height (m):**

**Height of Top Floor (m):**  **Total Floor area of building / works (sqm)\*:**

The type of construction used in the building or works. The system allows for multiple types of construction within one building.

The NBCO are reviewing the types of construction to match new construction types that have become common in the Building Industry.

Load-Bearing Structures that arrive on site pre-fabricated, 3D modular for instance, can present a risk in relation to demonstrating Compliance with the Second Schedule of the Building Regulations and inspections by Building Control Officers

**No. of rooms\*:**

**No. of bedrooms\*:**

**No. of WC's\*:**

# Online Assessment –Parts A to C

## Part A (Structure)

Consequence Class\*:

- Select -

Is a specialist engineered foundation required\*:

- Select -

Do the building/works involve a balcony?\*

- Select -

## Part B (Fire)

Are compartments/separating walls required?\*

- Select -

Has a cladding or curtain wall system been proposed?\*

- Select -

## Part C (Site Preparation and Resistance to Moisture)

Is the site located in an area of high radon?\*

- Select -

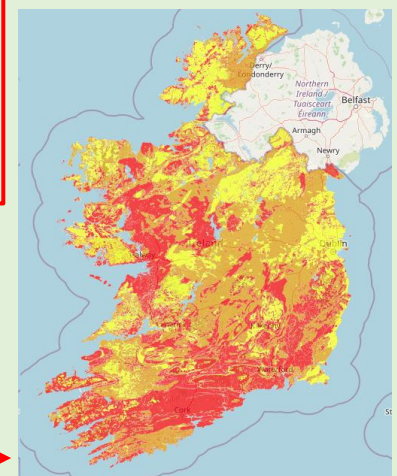
The following URL <http://www.epa.ie/radiation/radonmap/> will bring them to the most up to date map.

Buildings on disturbed, built-up, soft. Contaminated ground or where there is a high water table will require specialist engineering attention/ solutions. Please select as appropriate.

Balconies present unique design challenges. Building structures should typically be designed for 'normal' 60-year lifespans. However, it should be considered that the structural elements of a balcony (unlike most other structural elements of a building) are exposed to weather conditions and not protected by the façade. Balcony designers and specifiers, therefore, need to give careful consideration of their design.

Consequence Class	Building type and occupancy
1	Single occupancy houses not exceeding 4 storeys; Agricultural buildings; Buildings into which people rarely go, provided no part of the building is closer to another building, or area where people do go, than a distance of 1.5 times the building height.
2a Lower Risk Group	5 storey single occupancy houses; Hotels not exceeding 4 storeys; Flats, apartments and other residential buildings not exceeding 4 storeys; Offices not exceeding 4 storeys; Industrial buildings not exceeding 3 storeys; Retailing premises not exceeding 3 storeys of less than 1000 m <sup>2</sup> floor area in each storey; Single storey educational buildings; All buildings not exceeding two storeys to which the public are admitted and which contain floor areas not exceeding 2000 m <sup>2</sup> at each storey.
2b Upper Risk Group	Hotels, flats, apartments and other residential buildings greater than 4 storeys but not exceeding 15 storeys; Retail premises greater than 3 storeys but not exceeding 15 storeys; Hospitals not exceeding 3 storeys; Offices greater than 4 storeys but not exceeding 15 storeys; All buildings to which the public are admitted and which contain floor areas exceeding 2000 m <sup>2</sup> but not exceeding 5000 m <sup>2</sup> at each storey; Car parking not exceeding 6 storeys.
3	All buildings defined above as Class 2 Lower and Upper Consequences Class that exceed the limits on area and number of storeys; All buildings to which members of the public are admitted in significant numbers; Stadia accommodating more than 5000 spectators; Buildings containing hazardous substances and/or processes

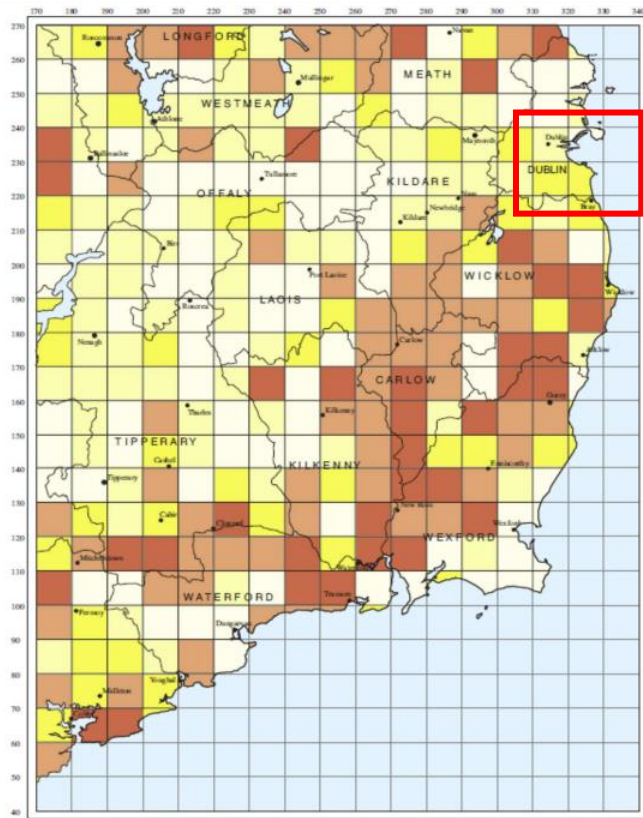
**Notes**  
 (i) For buildings intended for more than one type of use the 'consequences class' should be that relating to the most onerous type.  
 (ii) In determining the number of storeys, basement storeys may be excluded provided such basement storeys fulfil the requirements of 'Consequences Class 2b Upper Risk Group'.





# Online Assessment – Analysis of responses to Part C question

Map 5 Radon Prediction Map for the South East of Ireland

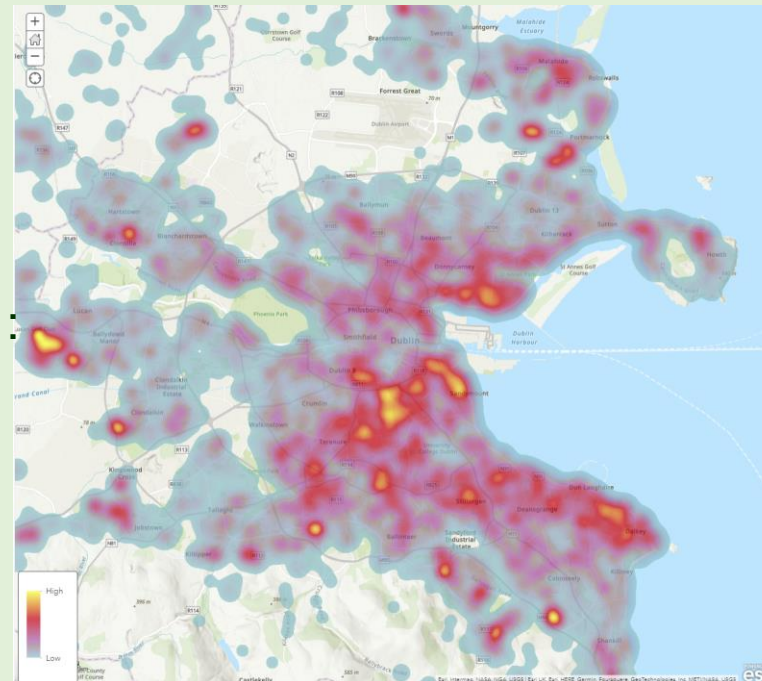


Source: Radiological Protection Institute of Ireland. February 2002 Radon in Dwellings. The Irish National Radon Survey.

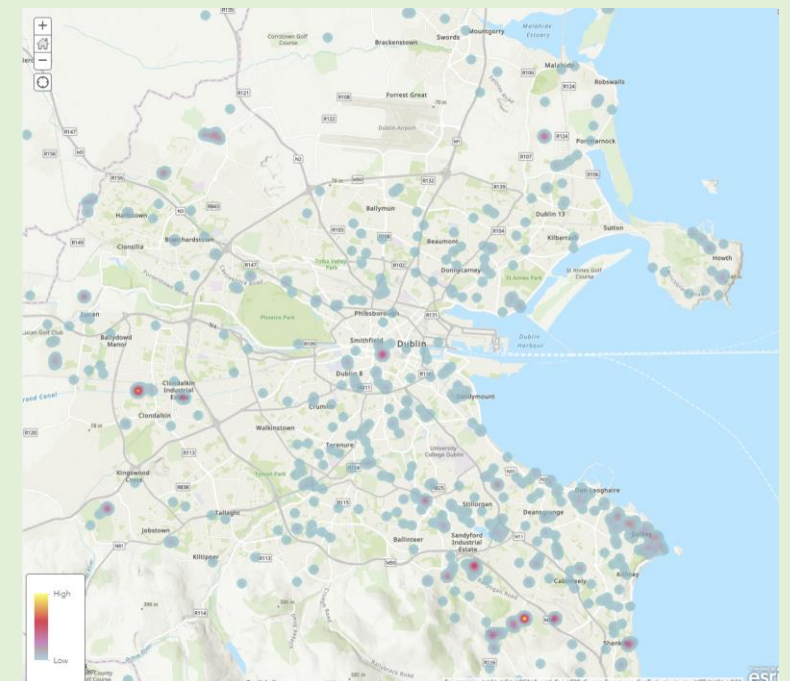
Radon Risk Map from TGD Part C - 2007

## Heat Map - Validated Commencement Notices

### Is the site located in an area of high radon?



No



Yes

It is clear that significant portion of the Online Assessments in are being incorrectly filled out in relation to Part C.

# Online Assessment – Parts D to G

## Part D (Materials and Workmanship)

Have you ensured that the design includes the use of proper materials which are fit for purpose and intended location and that these will be constructed in a workmanlike manner?\*

- Select -



## Part E (Sound)

Has provision been made to providing reasonable resistance to impact and airborne sound, where required?\*

- Select -



## Part F (Ventilation)

Has adequate means of ventilation been provided for people in buildings and to prevent excessive condensation?\*

- Select -



## Part G (Hygiene)

How is drinking water to be provided to the site?\*

- Select -



- Select -



Part E – Only applies to adjoined dwellings, dwelling adjoining non-dwellings and/or dwellings within a mixed-use building. No is a reasonable answer if the building is School for instance.

How is drinking water to be provided to the site?\*

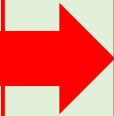
- Select -

- Select -

Existing Connection

New Connection

Not Applicable



- Select -

- Select -

Public

Private Well

Group Scheme

Not Applicable

# Online Assessment – Parts H to J

## Part H (Drainage and Waste Water Disposal)

How is surface water to be drained from the site?\*

- Select -

- Select -

How is foul water to be drained from the site?\*

- Select -

Public

## Part J (Heat Producing Appliances)

Type of heat producing appliance(s) provided (if any)?\*

- Solid fuel burning appliance (including solid biofuel) with a rated output up to 50 kW
- Fixed gas burning appliance with a rated input up to 70 kW
- Gas burning cooking appliance
- Oil burning appliance with a rated output of to 45 kW
- Other heat producing appliance
- None

Location of primary fuel storage, if any\*:

Not Applicable

How is surface water to be drained from the site?\*

- Select -

- Select -

Existing Connection

New Connection

Not Applicable

- Select -

- Select -

Watercourse

Public Sewer/Main

Soakpit

Not Applicable

- Select -

- Select -

Existing Connection

New Connection

Not Applicable

Public

- Select -

Public

Private - Group Treatment System

Private - Onsite Treatment System

Not Applicable

# Online Assessment – Parts K to M

## Part K (Stairways, Ladders, Ramps and Guards)

Has adequate provision been made for guarding to stairs, ladders, floors and balconies?\*

- Select - 



## Part L (Conservation of Fuel and Energy)

Has a Part L specification based on DEAP / NEAP been completed?\*

- Select - 



## Part M (Access and Use)

Where Required: Has adequate provision been made for people to access and use the building its facilities and its environs?\*

- Select - 



A preliminary BER report illustrating Compliance with Part L should be available for all Commencement Notices including Commencement Notice with Opt-Out Declaration, to outline how the building as designed is going to comply with the Building Regulations Part L.

Where a DAC is not provided with the Commencement Notice, access from boundary, the provision of level thresholds, minimum widths of corridors/doors and provision of Accessible WC should be illustrated to demonstrate compliance with Building Regulations Part M.

# Online Assessment – Building Control Interface

Edit (3 of 7)

[Project Particulars](#)
[Online Assessment](#)
[Phasing](#)
[Nominate Roles](#)
[Statutory Forms](#)
[Payment](#)
[Validation](#)

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**Summary**

Total Fee:	450.00	Total No. of Apartment/Maisonette Units:	0
Total No. of Dwelling Units:	15	Total No. of Buildings:	15

---

**Detached dwelling**

Building Name / Brief Description:	Detached dwelling	Does the building/works involve a protected structure or national monument?:	No
		Protected Structure / Monument Reference No.:	
FSC No. (if applicable):		DAC No. (if applicable):	
Type of Building or Works:	Construction of a new building(s)		
Material Alteration Works:			
Existing use of Building:			
Proposed use of building:	Residential (Dwellings)		
Sub Group:	Dwelling house(s)		
Dwelling House Type:	Detached		
No. of Buildings of this building type:	1		
Are the works being carried out by or on behalf of an Approved Housing Body?:	No	Are the works being carried out by or on behalf of a local authority?:	No

# Online Assessment as a Data Resource

The data set collect by the Online Assessment is update on to Open Data Portal and is referenced by the following Organisations;

- Central Statistics Office (CSO)
- BuildingInfo
- AL Goodbody
- Tailte Éireann (The Valuation Office)
- Department of Housing and Local Government and Heritage (Statistics and Data Analytics Unit SDAU) for monthly housing statistics
- Department of the Taoiseach
- Large Developers and Builders

**Building Commencement and Completion Data 2014 - Present**

This dataset contains details of Commencement Notices and Certificates of Compliance on Completion submitted through the BCMS to all 31 Building Control Authorities since 2014. Information on the data contained within this dataset can be found in the resource document 'NBCMP Open Data Portal - Data Collected - Form of Commencement/7 Day Notice & BCMS Online Assessment'

**Data and Resources**

- BuildingsCNsCCCs** (CSV) - Preview, Download
- BuildingsCNsCCCsSample** (CSV) - Preview, Download
- 20211207 NBCMP ODP - Data Collected - Form of...** (PDF) - More information, Download
- 20211222 NBCMP ODP - Data Collected -...** (PDF) - More information, Download

**Additional Data**

Field	Value
Last Updated	November 13, 2023, 12:05 AM (UTC+00:00)
Created	November 12, 2020, 11:39 AM (UTC+00:00)

<https://data.nbco.gov.ie/dataset/bcnccc>

CN_Proposed_use_of_building	CN_Sub_Group	CN_Number_of_Buildings_of_this_building_type	CN_Type_of_Construction	CN_Height	CN_FSC_Number	CN_DAC_Number	CN_Material_Alteration_Works	CN_Consequence_Class	CN_Height_of_Top_Floor
^11 agricultural^	^11 agricultural_bui	1	^concrete^,^masonry^	8.25			^not_available^	1	
^2 residential_insti	^2 hospital^	1	^concrete^	0			^part_a_and_b^	2	
^1 residential_dwelling	^1 dwelling_house^	1	^block^	7.96				1	4.24
^1 residential_dwelling	^1 dwelling_house^	1	^masonry^	8.5			^not_available^	1	
^1 residential_dwelling	^1 dwelling_house^	1	^block^	6				1	0
^1 residential_dwelling	^1 dwelling_house_at	1	^masonry^,^block^	8.3				1	3
^1 residential_dwelling	^1 dwelling_house^	1	^masonry^,^block^	5.5			^part_a^,^part_b^,^p	1	36
^1 residential_dwelling	^1 dwelling_house^	1	^composite_materials	8.75			^not_available^	1	
^1 residential_dwelling	^1 dwelling_house^	7	^timber_frame^	9.95			^not_available^	1	

# Q6 of the Commencement Notice



NBCO

National Building Control Office Frequently Asked Questions (FAQ)

## FAQ 15 . WHAT DOCUMENTS / FORMS ARE REQUIRED TO ACCOMPANY A COMMENCEMENT NOTICE / CCC

Commencement Notice with Compliance Documentation	Commencement Notice without Compliance Documentation	Commencement Notice with Opt Out of Statutory Declaration	7 Day Notice	Certificate of Compliance on Completion
---	--	---	--------------	---

**Q6-6. Submission of Documents (where applicable): A Schedule of Documents accompanying this Commencement Notice is attached in the following format: Schedule of Documents(Plans, Calculations, Specifications, Ancillary Certificates & Particulars)-**

Document	Reference	Description/Remarks
<b>Document</b>	<b>Reference</b>	<b>Description/Remarks</b>
		e.g., designed/to be designed later (also ref, 5.1 & 5.2 <a href="#">Code of Practice</a> )

**Schedule that may be relied on during process to demonstrate compliance with Building Regulations. All or some of these documents may be requested by the Building Control Authority.**

Q6-6. Submission of Documents (where applicable): A Schedule of Documents accompanying this Commencement Notice is attached in the following format: Schedule of Documents(Plans, Calculations, Specifications, Ancillary Certificates & Particulars)-

Document	Reference	Description/Remarks
<b>Document</b>	<b>Reference</b>	<b>Description/Remarks</b>
		e.g., designed/to be designed later (also ref, 5.1 & 5.2 <a href="#">Code of Practice</a> )

Schedule that may be relied on during process to demonstrate compliance with Building Regulations. All or some of these documents may be requested by the Building Control Authority.

ANNEX-Table of Documents  
Table of Plans, Calculations, Specifications, Ancillary Certificates and Particulars used for the purpose of construction and demonstrating compliance with the requirements of the Second Schedule to the Building Regulations and showing, in particular how the completed building or works differ from the design submitted to the Building Control Authority prior to construction.

Completion of an Online Assessment via the BCMS	Completion of an Online Assessment via the BCMS	Completion of an Online Assessment via the BCMS	Completion of an Online Assessment via the BCMS
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# Q6 of the Commencement Notice: Code of Practice: Sections 5.2 & 5.3


## Code of Practice

for

Inspecting and Certifying  
Buildings and Works

Building Control  
Regulations  
1997 to 2015

September, 2016

 An Roinn Tithíochta, Pleanála,  
Pobail agus Rialtais Áitiúil  
Department of Housing, Planning,  
Community and Local Government



### 5.2 Other Documentation

Key documents as is appropriate should be submitted depending on the particular building works.

Structural calculations and site investigation reports do not have to be submitted at commencement stage. However, they should be kept and made available on request to the Building Control Authority. The information should be provided to the Building Control Authority within two weeks of being requested.

### 5.3 Lodgement of plans at later stage

Design work that is due for completion and specialist design that is not available for submission at commencement stage should be certified and submitted at a later stage. Drawings and documentation for these designs should be submitted before the relevant work commences, with Ancillary Certificates of Compliance, where appropriate. Similarly, drawings and documentation for significant changes or omissions should be certified and submitted before the relevant work commences.

### Building Control Regulations (1997-2021)

#### Certificate of Compliance on Completion *Article 20F*

.....

(3) A Certificate of Compliance on Completion shall be—

(a) in the form specified for that purpose in the Sixth Schedule, and

(b) accompanied by such plans, calculations, specifications and particulars as are necessary to outline how the works or building as completed—

(i) differs from the plans, calculations, specifications and particulars submitted for the purposes of Article 9(1)(b)(i) or Article 20A(2)(a)(ii) as appropriate (to be listed and included at the Annex to the Certificate of Compliance on Completion), and

(ii) complies with the requirements of the Second Schedule to the Building Regulations, and



# Q6 of the Commencement Notice: Upload on BCMS

My Dashboard | My Details | My Notices + New notice | My Applications (Beta mode) + New Application | My Certificates + New certificate | Take a tour | Logout

Project Particulars | Online Assessment | Phasing | Nominate Roles | Statutory Documents | **Supporting Documents** | Payment

As well as the required Statutory documents, at least 3 supporting documents are also required for submission.  
The additional support documents are as follows:

**Select at least one from the following**

- General Arrangement Drawings
- Plans
- Sections
- Elevations

**And at least one of the following**

- Part L Compliance Report including Building Energy Rating
- Calculations
- Specifications and Particulars

**And at least one of the following**

- Compliance Report- with Second Schedule (Part A-M) of Building Regulations
- Preliminary Inspection Plan, prepared by the Assigned Certifier

Supporting Document :

Choose File No file chosen

Only PDF files are allowed. The maximum file size for this document is 50 MB.

Upload

Uploaded Supporting Documentation:

- Select -  
General Arrangement Drawings  
Plans  
Sections  
Elevations  
Part L Compliance Report including Building Energy Rating  
Calculations  
Specifications and Particulars  
Compliance Report- with Second Schedule (Part A-M) of Building Regulations  
Preliminary Inspection Plan, prepared by the Assigned Certifier  
Ancillary Certificates  
Annex-to Certificate of Compliance on Completion-Table of Documents  
Disability Access Certificate  
Fire Safety Certificate  
Inspection Plan Reports  
**Schedule of Documents -refer to Question 6 Commencement Notice**  
Schedule of Documents -refer to Question 6 Commencement Noti

Schedule of Documents for Question 6 must be uploaded with the Commencement Notice.

- It should be in the format as shown in Question 6
- It should list all Plans, Calculations, Specifications, Ancillary Certs and Particulars relied on to demonstrate compliance with the Parts A-M of the Building Regulations
- It should list Plans, Calculations, Specifications, Ancillary Certs and Particulars not yet designed that will demonstrate compliance with the Parts A-M of the Building Regulations

**6. Submission of Documents (where applicable):** A Schedule of Documents accompanying this Commencement Notice is attached in the following format:

**Schedule of Documents (Plans, Calculations, Specifications, Ancillary Certificates and Particulars)**

Document	Reference	Description/Remarks

**7. Signature by Building Owner:**

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Building Owner)

# Q6 of the Commencement Notice: Incomplete Schedules of Documents



April 2019



Dear Sir/Madam,

Enclosed please find the following:

- Form of commencement
- Notice of Assignment by builder
- Declaration of Intention
- Plans/Elevations Drawings



## Annex of Documents



Schedule of Documents  
Commencement Notice  
Design Certificate  
Notice of Assignment – Builder  
Notice of Assignment – Assigned Certifier  
Undertaking by Builder  
Undertaking by Assigned Certifier  
Preliminary Inspection Plan  
Architectural Specifications  
Part L Calculations  
M&E Specifications  
C&S Specifications  
M&E Drawings  
C&S Drawings  
Architectural Drawings



Ancillary Certificates  
Ancillary Cert of Compliance:Design (AD)  
Ancillary Cert of Compliance:Design (ED)  
Ancillary Cert of Compliance:Design (ED)



# Q6 of the Commencement Notice: Acceptable Schedule of Documents

Schedule of Supporting Documents

File No.	Description	Status
<b>Architectural Drawings</b>		
Combined Arch Drawings p1	Plans	Uploaded
Combined Arch Drawings p2	Plans	Uploaded
NBS Specification Document	Specifications and Particulars	Uploaded
<b>Mechanical and Electrical Drawings</b>		
Combined Electrical Drawings	General Arrangement Drawings	Uploaded
Combined Mechanical Drawings	General Arrangement Drawings	Uploaded
<b>Civil and Structural Drawings</b>		
Combined Civil Drawings	General Arrangement Drawings	Uploaded
Combined Structural Drawings	General Arrangement Drawings	Uploaded
<b>Part L Report</b>		
-Part L dwelling-report	Part L Compliance Report	Uploaded
<b>Preliminary Inspection Plan</b>		
-Preliminary Inspection Plan for Commencement	Preliminary Inspection Plan prepared by the Assigned Certifier	Uploaded
<b>Statutory Documents</b>		
-Form_of_commencement_notice_for_development signed	Commencement Notice	Uploaded
Design_Certificate at Commencement	Design Certificate	Uploaded
Signed Notice of Builder	Notice of Assignment (Builder)	Uploaded
Signed Notice of AC	Notice of Assignment (Assigned Certifier)	Uploaded
Undertaking by Builder Form	Undertaking By Builder	Uploaded
Signed Undertaking by AC	Undertaking by Assigned Certifier	Uploaded
- Supporting Documentation List -	Supporting Documentation List	Uploaded

# Interrogating a Schedule of Documents

<u>Documents</u>	<u>Reference</u>	<u>Description / Remarks</u>
GA Plans	AA001	Ground and First Floor A1: 1:100
GA Sections	AA002	Section X-X & Section Y-Y A1: 1:00
GA Elevations	AA003	A1: 1:100 Scale
Rising Wall and Threshold Details	AA100	To be Designed
Opes and Roof Details	AA101	To be Designed
Architects (Specification)	Arch Spec.	
BER Report	BER	Draft BER Compliance Report
Structural Drawings - Raft	SE001	To be Completed
Structural Drawings - Steel	SE002	Includes Specifications
Site Plan showing Septic Tank and percolation area	CE001	Awaiting final design

Sample Schedule of Documents

If works are starting within 14-28 days these details should be complete.

Possible request for Revised Information to demonstrate Compliance with the Building Regulations under:

Part A - Structure

Part C - Site Preparation and Resistance to Moisture

Part D - Material and Workmanship

Part H - Drainage and Waste Water Disposal

# Thank you for your attention

## In Summary

The completion of the Online Assessment and Q6 “Schedule of Documents” are essential for demonstrating the proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations, for securing the health, safety and welfare of persons in or about buildings, and persons who may be affected by buildings or by matters connected with buildings