

Inspections & Compliance Challenges NBCO Inspection Programme



An Oifig Náisiúnta um Rialú Foirgníochta
NATIONAL BUILDING CONTROL OFFICE

CPD Day Building Control Inspections 19th September 2023

- Education & Training
- Compliance Support
- **Inspections**
- BCMS

support@nbco.gov.ie



(28) NBCO DCC - YouTube



Website: www.localgov.ie

Twitter: [@NBCOIreland](https://twitter.com/NBCOIreland)

YouTube: [NBCO DCC](https://www.youtube.com/NBCO DCC)

Jennifer Mills, MRIAI

NBCO Inspections Programme 2023



Role & responsibilities set out in the Framework for Building Control Authorities in line with the Building Control Acts 1990-2014 and the various Department Circulars-Draft Survey on Staff Numbers

Building Control Authority	Full Time Equivalent Building Control Officers	Population	Total Number of New Buildings per County for 2022 (NOAC)	Actual Number of New Buildings Inspected 2022 (NOAC)	Valid Commencement Notices with Compliance Docs	Valid Commencement Notices with Opt Out Declarations	Valid Commencement Notices without Compliance Documents	Valid 7 Day Notices
Carlow CoCo	1.5	61,931.00	230	39	32	92	44	6
Cavan CoCo	1	81,201.00	198	86	77	80	46	19
Clare	1	127,419.00	367	57	78	228	37	27
Cork City	2	222,333.00	612	358	305	139	22	67
Cork County	7	358,898.00	2197	365	303	671	124	69
Donegal CoCo	3	166,321.00	524	70	147	312	64	33
Dublin City	9	588,233.00	481	403	239	321	412	175
DLR CoCo	3	233,457.00	718	668	115	311	187	63
Fingal	3	329,218.00	805	269	200	178	153	72
South Dublin CoCo	1.5	299,793.00	764	209	113	117	84	84
Galway CoCo	1	192,995.00	892	154	112	470	164	28
Galway City	1	83,456.00	93	26	41	46	23	12
Kerry	1	155,258.00	458	67	96	290	38	37
Kildare	1	246,977.00	1957	990	173	231	56	94
Kilkenny	1	103,685.00	500	99	79	176	69	12
Laois	1	91,657.00	556	77	37	151	32	9
Leitrim	1	35,087.00	68	31	15	39	10	6
Limerick	1	205,444.00	683	104	110	239	78	43
Longford	1	46,634.00	87	30	15	52	6	4
Louth	2	139,100.00	615	122	88	168	35	52
Mayo	2	137,231.00	549	34	132	297	40	22
Meath	2	220,296.00	1456	821	384	293	103	86
Monaghan	1	64,832.00	230	115	66	122	15	12
Offaly	1	82,668.00	300	87	49	142	19	7
Roscommon	1	69,995.00	181	34	30	107	42	10
Sligo	1	69,819.00	158	16	48	83	21	5
Tipperary	0.5	167,661.00	469	162	88	222	58	27
Waterford	1.5	127,085.00	507	77	91	167	37	19
Westmeath	1	95,840.00	265	45	64	132	16	13
Wexford	2	163,527.00	831	416	72	377	29	25
Wicklow	2	155,485.00	1114	240	94	193	53	30
Total	58	5,123,536	18,865	6,271	2,982	6,442	2,150	1,168

Beyond their statutory function under the Building Control Acts, BCAs are also the designated enforcement authorities for the purposes of ensuring compliance with other legislation as follows:

- Carrying out Market Surveillance of Construction Products for compliance with the requirements of the EU Construction Products Regulations for which they are also Market Surveillance Authorities
- Building Energy Rating Certificates for buildings in line with the European Union (Energy Performance of Buildings) Regulations 2012 (SI No. 243 of 2012); for which they are responsible for ensuring that all buildings for sale or letting have a BER Certificate on the SEAI Register and ensuring that all new buildings have a BER Certificate on the SEAI Register before they are occupied for the first time. ref Framework for Building Control authorities https://nb.co.local.gov.ie/sites/default/files/framework_for_building_control_authorities_june_2016_0.pdf

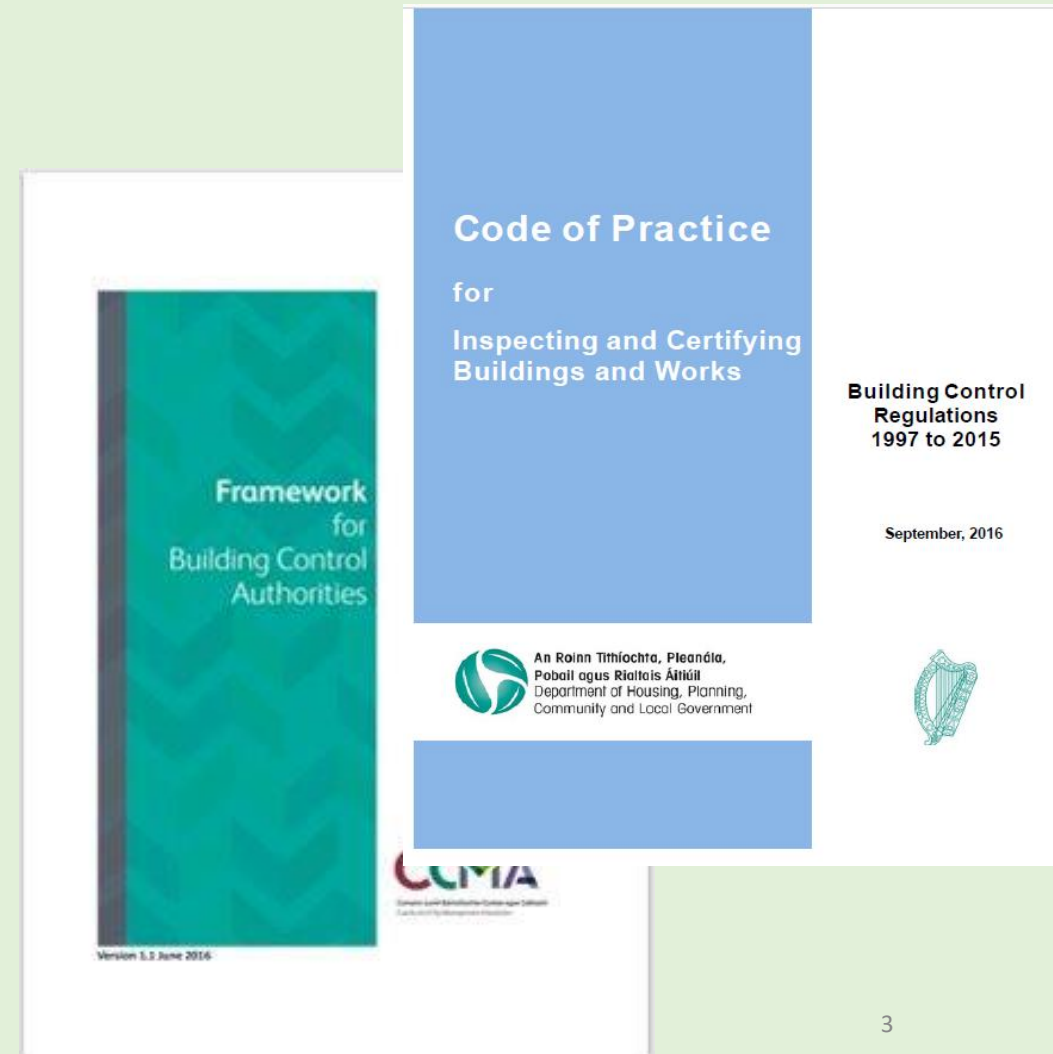
- Oversight
- Support
- Direction

Full Time Equivalent Building Control Officers



NBCO Inspections Programme 2023

- A key aim of the Code of Practice is for regulatory oversight to ensure a culture of compliance with Building Regulations using a risk-based approach to target those who are non-compliant.
- The Code of Practice for Inspecting and Certifying Buildings and Works states that Building Control Authorities 'should adopt a formal policy for the assessment and inspection of building work as notified on the Building Control Management System.
- Target of at least 12-15% of all new buildings.



Promotion of Compliance Data Collection on Building Control Inspection

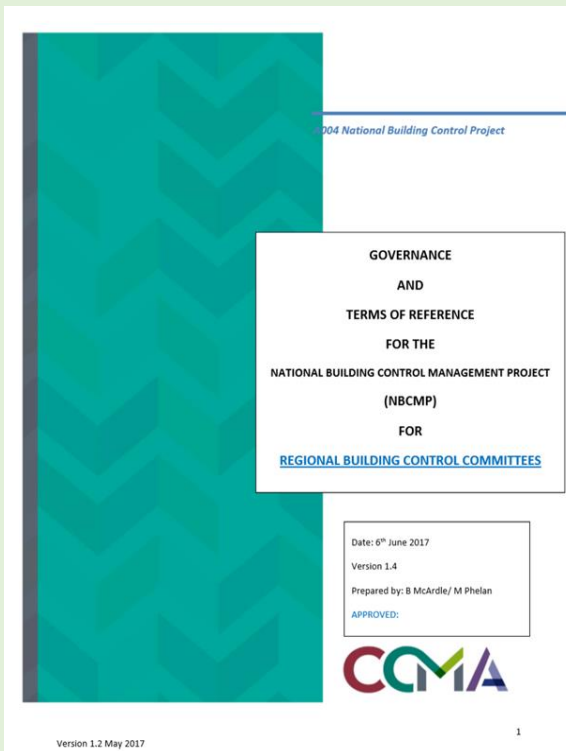
- Consistency
- Standardisation
- National Co-ordination
- Standard Approaches

"Desktop Technical Assessment"

*means an office based assessment checking for compliance with the Second Schedule to the Building Regulations of a valid Commencement Notice (CN)/ 7 Day Notice **but excluding** normal assessment procedures of Fire Safety Certificates (FSCs) and Disability Access Certificates (DACs) or On-Site Technical assessment of the works for compliance.*

"On-Site Technical Inspection"

*means a physical site based assessment of the works checking for compliance with the Second Schedule to the Building Regulations. This may include an office based assessment prior to, or after the site visit **but this should not be double counted** in the column "Desktop Technical Assessment only".*



Inspection Pillar – Desktop Technical Assessment

Compliance with Building Control Regulations ?



Form of Commencement Notice

9. (1) A commencement notice shall be—

(a) filed electronically on the Building Control Management System or set out in the form for that purpose included in the Second Schedule, and

(b) subject to paragraph (2), **accompanied by—**

(i) **such plans, calculations, specifications and particulars as are necessary to outline how the proposed works or building will comply with the requirements of the Second Schedule to the Building Regulations** relevant to the works or building concerned, and including—

(I) general arrangement drawings including plans, sections and elevations,

(II) **a schedule of such plans, calculations, specifications and particulars as are currently designed or as are to be prepared at a later date,**

(III) the completion of an online assessment, via the Building Control Management System, of the proposed approach to compliance with the requirements of the Second Schedule to the Building Regulations,

(IV) the preliminary Inspection Plan prepared by the Assigned Certifier, and...

The screenshot shows the NBCO BCMS website. At the top, it says "National Building Control and Market Surveillance Office" with "English" and "Gaeilge" language options. Below is a "Welcome to the Building Control Management System (BCMS)" message with "Log In" and "Sign Up" buttons. A search bar for the "Statutory Register" is present. The main content area includes an "About BCMS" section with a notice about system maintenance on Thursday 7th of September 2023, and a "Manage your submissions" section with "Log In" and "Sign Up" buttons. A "Useful links and documents" section at the bottom lists various resources like "Frequently Asked Questions - FAQs", "Framework for Building Control Authorities", "Code of Practice for Inspecting and Certifying Buildings and Works", "EU Construction Products Regulations", and "Department of Housing, Local Government and Heritage Website".

Inspections Pillar – Desktop Technical Assessment

Compliance with Building Regulations?



"Design" Has the meaning assigned to it in the Act of 1990 and includes the preparation of plans, particulars, drawings, specifications, calculations and other expressions of purpose according to which the Construction, extension, alteration, repair or renewal concerned is to be executed and "designed" will be construed accordingly;

- Is the Schedule of Documents as per Q6 of the Commencement Notice; a schedule of such plans, calculations, specifications and particulars as are currently designed or as are to be prepared at a later date ?
- Review the plans, calculations, specifications and particulars to check for compliance with the second schedule of the Building Regulations A-M

Project Particulars
 Online Assessment
 Phasing
 Nominate Roles
 Statutory Documents
 Supporting Documents
 Payment

As well as the required Statutory documents, a number of supporting documents are also required for submission.

The additional support documents are as follows:

Select at least one from the following

- General Arrangement Drawings
- Plans
- Sections
- Elevations

And the following

- Schedule of documents, as per Question 6 of the Commencement Notice

Schedule of Documents: A document listing the plans, calculations, specifications and particulars as are necessary to outline how the proposed dwelling or domestic extension will comply with the relevant requirements of the Second Schedule to the Building Regulations. This should include, but not be confined to, general arrangement drawings, a schedule of compliance documents – as designed or to be prepared at a later date.

Supporting Document : No file chosen
Only PDF files are allowed. The maximum file size for this document is 50 MB.

Supporting Document Type*:

Uploaded Supporting Documentation:

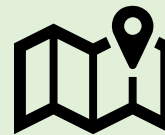
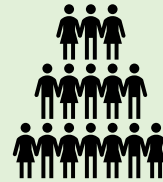
No document uploaded yet

Inspection Protocol Procedures

Q. What buildings or works to Inspect?

Decision to inspect based on :

- Risk based
- Random
- Complaint
- Other....



Q. When to Inspect (Stage of Construction/Milestones)?

Q. Do I need to Re-Inspect?

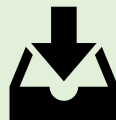
Inspections of Buildings or works

- Scale
- Complexity
- Modern methods

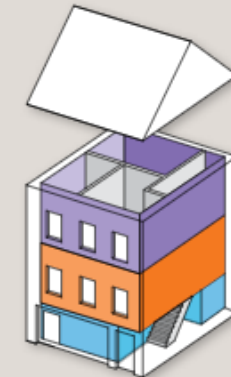


Inspections of Buildings or works

Are we inspecting all types of Buildings or Works?



Option d
Conversion of an ancillary shop to an independent shop unit with multiple dwellings overhead



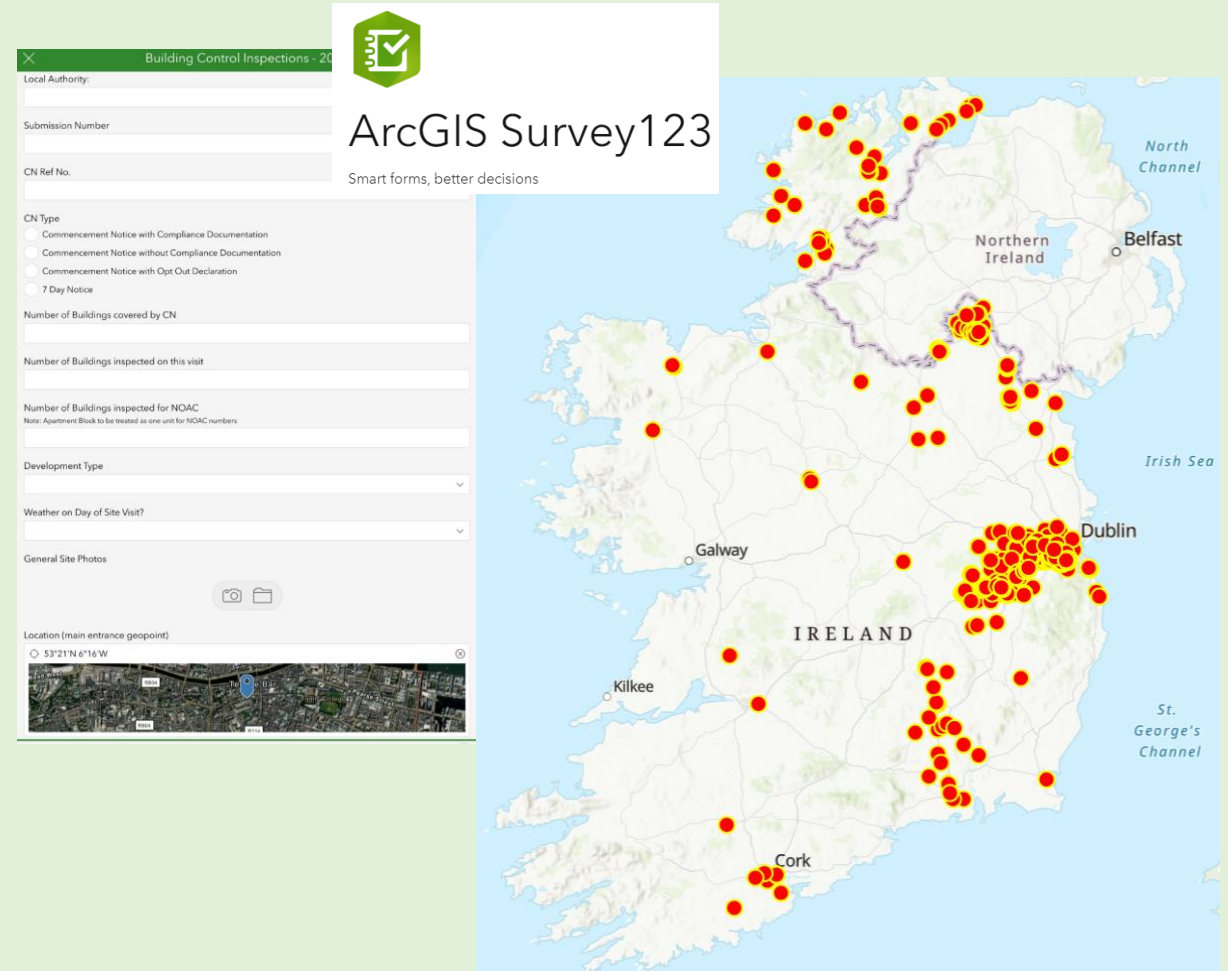
Typical Scale of Intervention

- Building Regulations* apply, as this work is a material change of use to the building. Typical works will include:
 - > Fire separation and sound insulation between dwellings/ shop (walls and floors), and access corridors
 - > Provision of independent services (including heating, lighting and plumbing)
 - > Installation of integrated fire-alarm system for building
 - > Upgrade of thermal insulation
 - > Replacement of windows (except display windows)
- Rental Regulations apply in any case where it is proposed to offer a dwelling for rental.**

Recording your inspections

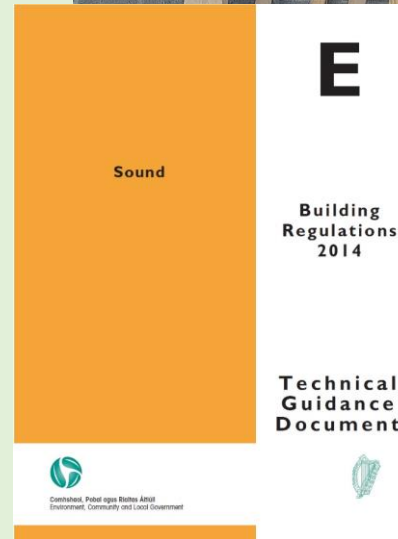
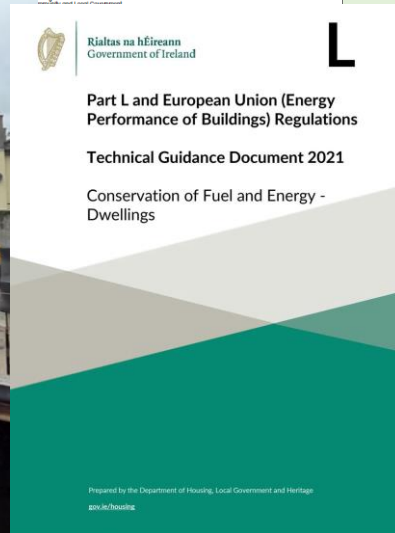
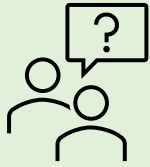
- Standardisation
- Maximising impact

Where inspections are carried out by Building Control Authorities they should make their inspection reports available, on request, to Assigned Certifiers, Builders, or Owners. It is noted that inspections may be limited and subject to the particular compliance requirements for the inspection.

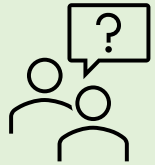


The image displays a screenshot of the ArcGIS Survey123 application interface on the left and a map of Ireland on the right. The survey form includes fields for 'Local Authority', 'Submission Number', and 'CN Ref No.'. It also features a 'CN Type' section with radio button options: 'Commencement Notice with Compliance Documentation', 'Commencement Notice without Compliance Documentation', 'Commencement Notice with Opt Out Declaration', and '7 Day Notice'. Below these are input fields for 'Number of Buildings covered by CN', 'Number of Buildings inspected on this visit', and 'Number of Buildings inspected for NOAC'. A note specifies: 'Note: Apartment Block to be treated as one unit for NOAC numbers'. There are dropdown menus for 'Development Type' and 'Weather on Day of Site Visit?'. A 'General Site Photos' section includes camera and gallery icons. At the bottom, a 'Location (main entrance geopoint)' field shows coordinates '53°21'N 6°16'W' and a satellite map view. The map on the right shows the island of Ireland with numerous red circular markers indicating inspection locations, with a high concentration in the Dublin region. Labels on the map include 'Northern Ireland', 'Belfast', 'Dublin', 'Galway', 'Kilkee', and 'Cork'. Surrounding water bodies are labeled 'North Channel', 'Irish Sea', and 'St. George's Channel'.

Inspections - Compliance challenges



Inspections – Compliance Challenges



NSAI Agrément Certificates



CI/SIB (21.9) Hn7

IRISH AGRÉMENT BOARD
CERTIFICATE NO. 07/0277
 Amvic Ireland,
 Unit 11 Rosemount Business Park,
 Ballycoolin, Dublin, D11 Y382.
 T: +353 1 8991883
 E: info@amvicireland.com
 W: www.amvicireland.com

Insulating Concrete Formwork System

ent (Irish Agrément Board) is designated by Government to issue European Technical Approvals.
 certificates establish proof that the certified products are 'proper materials' suitable for their intended
 under Irish site conditions, and in accordance with the **Building Regulations 1997 to 2019**.



2.1.5 External Walls

The different elements of the external wall are as follows, from external surface to internal:

- External render system thickness per certificate holder's requirements
- 64mm/75mm/100mm EPS board (outer leaf)
- Amvic ICF form with 150mm reinforced concrete core width
- 64mm/75mm/100mm EPS board (inner leaf)
- 12.5mm plasterboard slabs screw fixed to the polypropylene connectors
- 4mm gypsum skin coat plaster

The external renders certified for use onto EPS for new build are described in their own Certificates and Section 2.1.12.

D

Materials and Workmanship

Building Regulations 2013

Technical Guidance Document

Definition for this Part

D3

In this Part, "proper materials" means materials which are fit for the use for which they are intended and for the conditions in which they are to be used, and includes materials which:

- bear a CE Marking in accordance with the provisions of the Construction Products Regulation;
- comply with an appropriate harmonised standard or European Technical Assessment in accordance with the provisions of the Construction Products Regulation; or
- comply with an appropriate Irish Standard or Irish Agrément Certificate or with an alternative national technical specification of any State which is a contracting party to the Agreement on the European Economic Area, which provides in use an equivalent level of safety and suitability.

"Agreement on the European Economic Area" means the Agreement on the European Economic Area between the European Union, its Member States and the Republic of Iceland, the Principality of Liechtenstein and the Kingdom of Norway as published in the Official Journal of the European Communities (O.J. No. L1, 03.01.1994, page 3).

"Construction Products Regulation" means Regulation (EU) No. 305/2011 of the European Parliament and of the Council of 9 March 2011 laying down harmonised conditions for the marketing of construction products and repealing Council Directive 89/106/EEC.

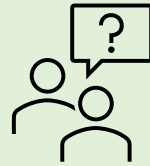
Section 11 Request following an Inspection

Building Control Act 1990

Powers of Inspection by Authorised persons

11-(3) Any authorised person may—...

... (c) require the owner or occupier of the building, or any person responsible for the construction of the building, to provide such plans, documents and information as are necessary to establish whether the requirements of building regulations are being complied with in relation to the building;



National Building Control and Market Surveillance Office

Home - New Certificate

Add New Certificate

Use the tabs below to create and/or view your Notices and/or Certificates.

- My Dashboard
- My Details
- My Notices + New notice
- My Applications (Beta mode) + New Application
- My Certificates + New certificate**
- Take a tour
- Logout

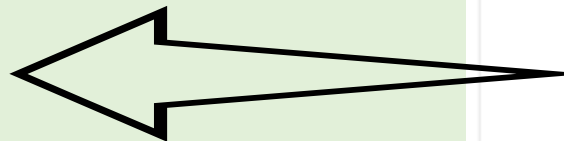
Select the type of Certificate you wish to submit.

NEW CERTIFICATE OF COMPLIANCE ON COMPLETION

During the submission process you will be asked for:

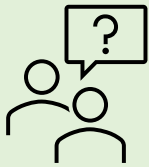
- The Inspection Plan as implemented
- Completed "Annex" to Certificate of Compliance on Completion
 - Listing the supporting compliance documentation
 - any changes since the Commencement Notice was submitted

[Create new Certificate](#)



Part A Structure (Note also Technical Guidance Document Part A structure 2012)	
The Requirements	
<p>A1 Loading (Section 1)</p> <p>(1) A building shall be designed and constructed, with due regard to the theory and practice of structural engineering, so as to ensure that the combined actions that are liable to act on it are sustained and transmitted to the ground -</p> <p>(a) Safely, and</p> <p>(b) Without causing such deflection or deformation of any part of the building, or such movement of the ground, as will impair the stability of any part of another building.</p> <p>(2) In assessing whether a building complies with sub-paragraph (1), regard shall be had to the variable actions to which it is likely to be subjected in the ordinary course of its use for the purpose for which it is intended.</p>	<p>Submit such plans, summary calculations (of main structural elements), documents, and information to show that the requirement of A1 Loading are being complied with in relation to your building.</p> <p>(In relation to the following structural element:)</p> <p>(b) Foundation (c) Walls (d) Floors (e) Roof Structure (f) Etc.</p> <p>(Other Forms of Construction)</p> <p>(g) Timber Frame Design to IS 440 & Eurocode 5 (h) Masonry (Eurocode 6) (i) Concrete (Eurocode 2) (j) Steel (Eurocode 3) (k) Etc.</p> <p style="text-align: right; color: red;">(delete as required)</p>
<p>A2 Ground Movement (Section 1)</p> <p>A building shall be designed and constructed, with due regard to the theory and practice of structural engineering, so as to ensure that movements of the subsoil caused by subsidence, swelling, shrinkage or freezing will not impair the stability of any part of the building.</p>	<p>Submit such plans, summary calculations (foundations), documents, and information to show that the requirement of A2 Ground Movement are being complied with in relation to your building.</p> <p>(In relation to the following:)</p> <p>(a) Site investigation (Eurocode 7)</p> <p>(Specialist Foundations)</p> <p>(a) Piling (b) Ground stabilisation techniques (c) Vibro-compaction (d) Etc.</p> <p style="text-align: right; color: red;">(delete as required)</p>

NBCO Education & Training Pillar



- Identify Training Needs of Building Control Authority Staff
- Develop training supports (e.g., CPD FAQ's Newsletters...)
- Sharing findings and best practice (Regional meetings & Working Groups)

Useful links and documents



Frequently Asked Questions-
FAQ's
[Download here >](#)



Framework for Building
Control Authorities
[Download here >](#)

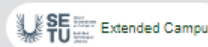


Code of Practice for
Inspecting and Certifying
Buildings and Works
[Download here >](#)



EU Construction Products
Regulations
[Download here >](#)

[Construction Products
Regulations/CPR >](#)
[Department of Housing,
Local Government and
Heritage Website >](#)
[Guide for Homeowners >](#)
[Law Reform Commission
Consolidated Building
Control Regulations >](#)
[National Building Control
Management Project
Newsletters >](#)



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Certificate in Building Control Management

Qualification Title:	Certificate in Building Control Management
Award Type:	Level 7 – 10 Credit Module
Commencement Date:	September 2023
Schedule:	Part-time

NBCO - Here to help



NBCO
National Building Control Office Frequently Asked Questions (FAQ)

FAQ 65. Is a Commencement notice required for Temporary Accommodation, Modular (MMC) Accommodation for People Fleeing Countries, Glamping Pods/Glamping Sites

- A **“Dwelling”** as defined for **Building Control** purposes is defined as –*“A house or flat, forming a separate unit of residential accommodation.”*
 - A **“Temporary Dwelling”** as defined for **Housing** (Miscellaneous Provisions) Act purposes is defined as *“any tent, caravan, mobile home, vehicle or other structure or thing (whether on wheels or not) which is capable of being moved from one place to another, and—(a) is or was used for human habitation, either permanently or from time to time, or (b) was designed, constructed or adapted for such use”.*
- In General, all such accommodation (inhabited by people) **requires the submission of a Commencement Notice** and **must comply** with the relevant requirements of the Building Regulations. These buildings/dwellings contain **“habitable rooms”**.
- **To Check Commencement Notice requirements, refer to “Bringing Back Homes - Manual for the Reuse of Existing Buildings”** <https://www.gov.ie/en/publication/68a5b-bringing-back-homes-manual-for-the-reuse-of-existing-buildings/> Flowchart to establish if a Commencement Notice is required, P78 & P79.
 - **S.I. No. 497/1997 - Building Regulations, 1997-Schedule 3 Exempted Buildings Miscellaneous;**
 - CLASS 10, A temporary dwelling as defined in the [Local Government \(Sanitary Services\) Act, 1948](#) (No. 3 or 1948).
 - CLASS 13, A building of a temporary nature erected on a site for a period not exceeding 28 consecutive days or 60 days in any period of 12 months, [Local Government \(Sanitary Services\) Act, 1948](#)

“temporary dwelling” means any— (a) tent, or (b) van or other conveyance (whether on wheels or not), or (c) shed, hut or similar structure, or (d) vessel on inland waters, used for human habitation or constructed or adapted for any shed hut or similar structure are not considered “dwellings”(houses or flats). Their use or temporary dwellings implies a time limit. Under class 13 the time restriction is fundamental Regulations. If Planning Permission is required and/or A Fire Safety Certificate is required, the Building Control required under Part II of the Building Control Regulations .

Useful links and documents

Frequently Asked Questions-FAQ's
[Download here >](#)

Framework for Building Control Authorities
[Download here >](#)

Code of Practice for Inspecting and Certifying Buildings and Works
[Download here >](#)

EU Construction Products Regulations
[Download here >](#)

[Construction Products Regulations/CPR >](#)

[Department of Housing, Local Government and Heritage Website >](#)

[Guide for Homeowners >](#)

[Law Reform Commission Consolidated Building Control Regulations >](#)

[National Building Control Management Project Newsletters >](#)



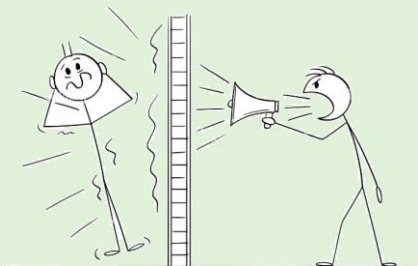
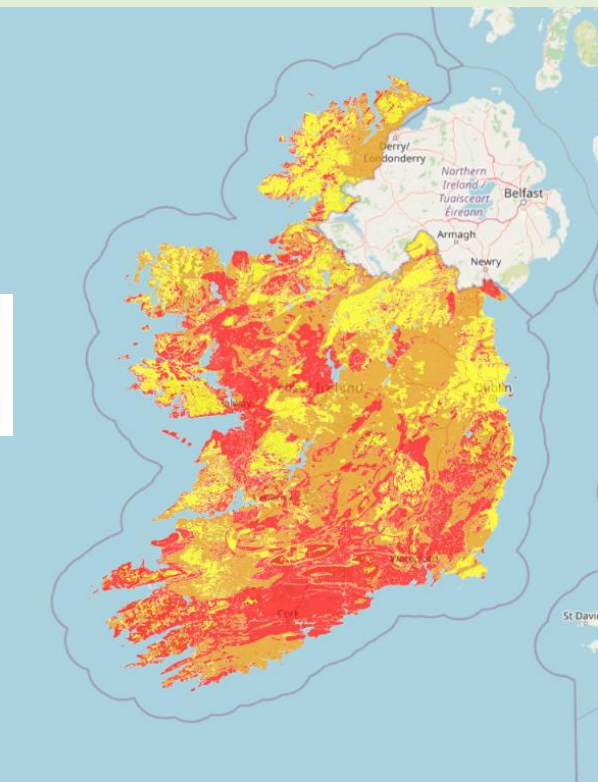
NBCO DCC
@nbccodcc9030 532 subscribers 66 videos
NBCO Useful Videos >
twitter.com/nbcoireland?lang=en and 5 more links

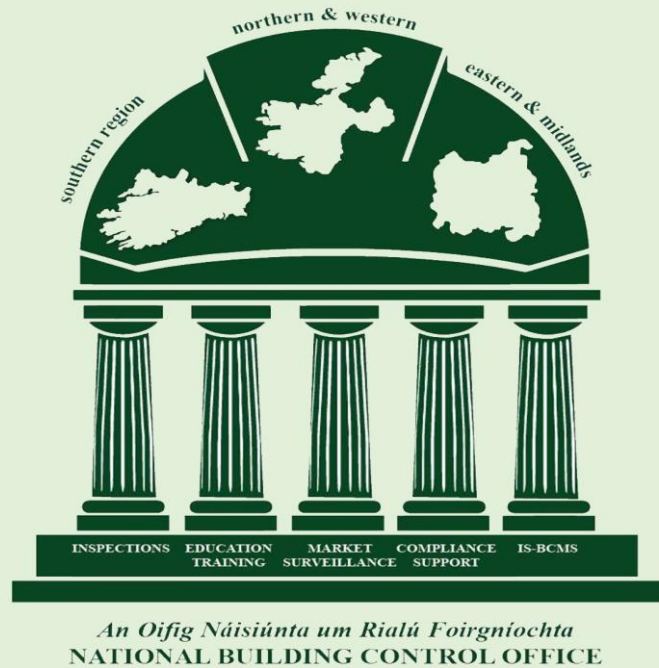
HOME VIDEOS PLAYLISTS COMMUNITY CHANNELS ABOUT

Latest Popular Oldest



Buildings in Use – Health & Safety & Welfare of people in and about Buildings





- Education & Training
- Compliance Support
- **Inspections**
- BCMS
- Market Surveillance

support@nbco.gov.ie

GO RAIBH
MAITH
AGAT

Website: www.nbco.localgov.ie
 Twitter: [@NBCOIreland](https://twitter.com/NBCOIreland)
 YouTube: [NBCO DCC](https://www.youtube.com/NBCO DCC)

SUSTAINABLE DEVELOPMENT GOALS

